

RENOVATIONS TO

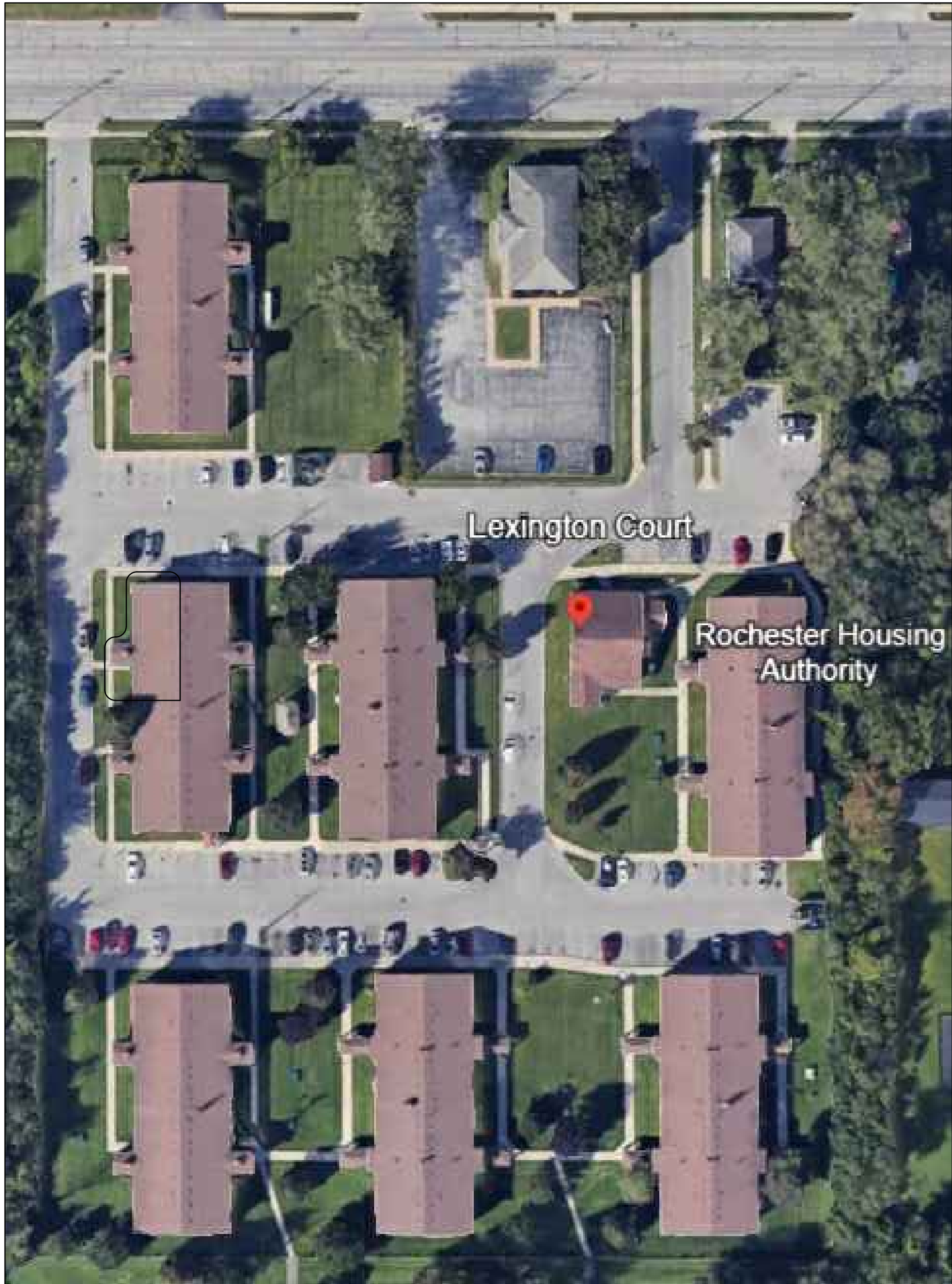
1289-1310 LEXINGTON AVE.

ROCHESTER, NY 14606

BUILDING 2, ENTRANCE 17, APARTMENTS 17-20

ROCHESTER HOUSING AUTHORITY

6 CHRISTOPHER COURT,  
ROCHESTER, NY 14606



1 KEY PLAN  
SCALE: NTS

LIST OF ABBREVIATIONS

ADD	ADDITIONAL	EXT	EXTERIOR	NAT	NATURAL	TKBD	TACKBOARD
AF	ABOVE FIN	EXST	EXISTING	NG	NOT IN CONTRACT	TKS	TACKSTRIP
ACUS	ACOUSTICAL	FIX	FIXTURE	NOM	NOMINAL	TKR	TACK(NESS)
ADJ	ADJACENT	FIN	FINISHED	NTS	NOT TO SCALE	T&G	TONGUE AND GROOVE
A/C	AIR CONDITIONING	FLC	FIRE EXTINGUISH. CAP	N	NATURAL	T&P	TOP & BOTTOM
ALT	ALTERNATE	FL	FLOOR	OC	ON CENTER	T&S	TOP OF STEEL
ALUM	ALUMINUM	FD	FLOOR DRAIN	OD	OUTSIDE DIAMETER	TYP	TYPICAL
APPROX	APPROXIMATE	FTG	FOUNDATION	OPG	OPENING	THOLD	THRESHOLD
AND	AND/OR		FOOTING	OPP	OPPOSITE	UR	URINAL
BRNG	BEARING	GA	GALVEE	OH	OPPOSITE HAND	VB	VAPOR BARRIER
BD	BOARD	GALV	GALVANIZED	PLAS	PLASTER	VAR	VARNISH
BM	BENCH MARK	GC	GENERAL CONTRACTOR	PT/P	PAINT	VERT	VERTICAL
BLS	BUILDING	GL	GLASS	PB	PARTICLE BOARD	VIF	VERIFY IN FIELD
BKGS	BLOCKING	GCMU	GLAZED GUM	PRT	PARTITION	VG	VERTICAL GRAIN
BOT	BOTTOM	GST	GLAZES STRUCT. TILE	PMT	PAVEMENT	VIN	VINYL
BRK	BRICK	GYP BD	GYPSUM BOARD	PFT	PERFORATED	VAT	VINYL ASBESTOS TILE
D. O.	BOTTOM OF			PLAM	PLASTIC LAMINATE	VWG	VINYL WALL COVERING
				PLATE	PLATE		
CPT	CARPET	HDWR	HARDWARE	PVD	PLYWOOD	W/	WITH
CLS	CEILING	HTG	HEATING	PSF	POUNDS PER SQUARE FT.	W/O	WITHOUT
CEM PLAS	CEMENT PLASTER	HVAC	HTG/VENTING/A/C	PSI	POUNDS PER SQUARE IN.	WG	WATER GLOSET
CER T	CERAMIC TILE	HG	HIGH	PTD	PAPER TOWEL DISPENSER	WMF	WELDED WIRE FABRIC
CB	CATCH BASIN	HC	HOLLOW CORE			WMM	WELDED WIRE MESH
CL	CENTER LINE	HM	HOLLOW METAL	QT	QUARRY TILE	WGL	WIRE GLASS
COL	COLUMN	HORIZ	HORIZONTAL			WP	WATERPROOFING
CONC	CONCRETE	HCAP	HANDICAPPED	REF	REFRIGERATOR	WR	WASTE RECEPTACLE
CONJ	CONC. MASONRY UNIT			RAD	RADIUS	WP	WOOD
COND	CONDUCTOR	INCL	INCLUDE	REF	REFERENCE		
CONN	CONNECTION	ID	INSIDE DIAMETER	REG	REGISTER		
CONST	CONSTRUCTION	INT	INTERIOR	REINF	REINFORCEMENT		
CONT	CONTINUOUS	INV	INVERT	RES	RESILIENT		
CONTR	CONTRACTOR	IPS	INSIDE PIPE SIZE	REV	REVISION		
CJ	CONTRACT JOINT	INSUL	INSULATION	ROF	ROOF DRAIN		
CORR	CORRUGATED			RM	ROUGH OPENING		
CU FT	CUBIC FEET	JC	JANITOR'S CLOSET	RO	RESILIENT VINYL TILE		
CU YD	CUBIC YARDS	JT	JOINT				
CRS	COURSES	LAV	LAVATORY				
		LAM	LAMINATED	SCH	SCHEDULE		
DR	DOOR			SM	SIMILAR		
DI	DIAMETER	MAS	MASONRY	SC	SOLID CORE		
DO	DITTO	MO	MASONRY OPENING	SPK	SPEAKER		
DS	DOWN SPOUT	MAX	MAXIMUM	SPEC	SPECIFICATION		
DWG	DRAWING	MEMB	MEMBRANE	SQ	SQUARE		
DECOR	DECORATIVE	MIN	MINIMUM	SS	STAINLESS STEEL		
DET	DETAIL	MR	MOP RECEPTOR	STR	STRUCTURAL		
ELEC	ELECTRIC	MANUF	MANUFACTURED	STL	STEEL		
ELEV	ELEVATION	MD	MAINTAINED	SUSP	SUSPEND		
EQUIP	EQUIPMENT	MTL/MET	METAL				
EXH	EXHAUST						
EQ	EQUAL						
EA	EXIST						

MATERIAL SYMBOLS

	EARTH		WOOD BLOCKING		CONCRETE
	GRAVEL OR CRUSHED STONE		FINISH WOOD		STONE
	PLASTER, GYPSUM, CEMENT (AS NOTED)		RIGID INSULATION		ASPHALT PAVING
	BRICK		BATT INSULATION		
	CONCRETE BLOCK		MARBLE		
	STEEL-LARGE SCALE (OTHER MET. AS NOTED)		TILE - CERAMIC ACOUSTICAL (AS NOTED)		
I	STEEL-SMALL SCALE (OTHER MET. AS NOTED)		PLYWOOD		

GRAPHIC SYMBOLS

DETAILS	ELEVATIONS	DRAWING NOTATION
 O DETAIL NO. A-I SHEET WHERE LOCATED	 ELEVATION NO. SHEET WHERE LOCATED	DRAWING NAME SCALE 1"=0' = 1'-0"
SECTIONS		
 SECTION NO. SHEET WHERE LOCATED	 DETAIL NO. SHEET WHERE LOCATED	DOOR NO. X WINDOW TYPE X ROOM NO. 101 REVISION NO. X

LIST OF DRAWINGS

SHEET # AND DESCRIPTION

T-10	TITLE SHEET
G-10	BUILDING KEY PLANS
D-10	EXISTING/DEMO PLANS W/ KEY NOTES
D-11	EXISTING/DEMO PLANS W/ KEY NOTES
A-10	NEW PLANS W/ ROOM FINISH SCHEDULE
A-11	NEW COMMON AREA AND STAIR PLANS W/ STAIR ELEVATIONS
A-12	ACCESSIBLE RAMP/LANDING PLAN, ELEVATIONS AND SECTION DETAILS
A-20	APARTMENTS 17, 19 FLOOR PLAN W/ KEYNOTES
A-21	APARTMENTS 17, 19 INTERIOR ELEVATIONS W/ LEGEND
A-22	APARTMENT 18 ACCESSIBLE FLOOR PLAN, INTERIOR ELEVATIONS W/ KEYNOTES
A-23	APARTMENT 20 FLOOR, PLAN INTERIOR ELEVATIONS W/ LEGEND
A-30	WALL SECTIONS, FRAMING DETAILS AND WALL TYPES
A-40	DOOR SCHEDULE, DOOR ELEVATIONS AND DOOR HEAD DETAILS

SHEET # AND DESCRIPTION

P-000	PLUMBING COVER
PD-100	PLUMBING DEMOLITION PLANS
P-200	PLUMBING SANITARY AND VENT PIPING PLANS
P-201	PLUMBING POTABLE WATER PIPING PLANS
P-202	PLUMBING SANITARY/VENT AND POTABLE WATER RISER DIAGRAMS
H-000	HVAC COVER
HD-100	HVAC DEMOLITION PLANS
H-200	HVAC PLANS
H-201	HVAC PIPING PLANS
H-400	HVAC DETAILS
E-000	UNIT 17-20 COVER
ED-100	UNIT 17-20 DEMOLITION PLANS
E-100	UNIT 17-20 LIGHTING PLANS
E-200	UNIT 17-20 ELECTRICAL PLANS
E-300	UNIT 17-20 ELECTRICAL SCHEDULES

P L Peter L.  
M A Morse  
& Associates  
ARCHITECT A. I. A.

311 Alexander Street  
Suite 215  
Rochester, N. Y. 14604  
Phone 585-530-2230  
Fax 585-530-3302



THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE ARCHITECTURE AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE ARCHITECTURE. ALL RIGHTS RESERVED. ©

NOTICE: IT IS A VIOLATION OF NEW YORK STATE LAW TO ALTER PLANS, SPECIFICATIONS OR REPORTS TO WHICH THE SEAL OF AN ARCHITECT HAS BEEN APPLIED. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF THE ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE.

REVISIONS

no.	date	by	description
△			
△			
△			
△			
△			
△			
△			
△			
△			

PROJECT & CLIENT

RENOVATIONS TO

1289-1310  
LEXINGTON AVE.  
ROCHESTER, NY 14606

BUILDING 2, ENTRANCE 17  
APARTMENTS 17-20

ROCHESTER HOUSING AUTHORITY  
6 CHRISTOPHER COURT,  
ROCHESTER, NY 14606

DRAWING TITLE

TITLE SHEET

DRAWING NO.

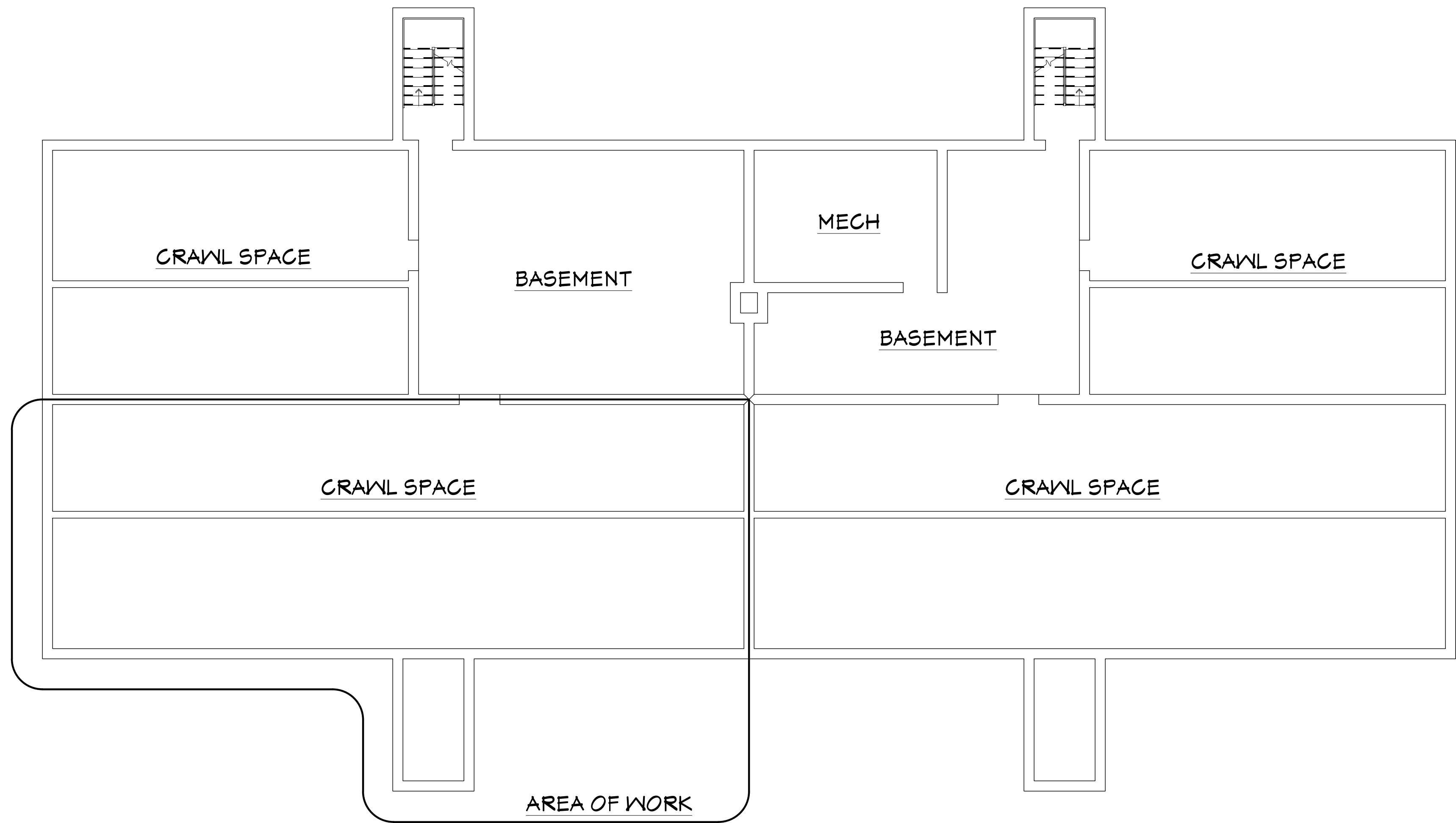
T-1.0

drawn by JLT  
checked PLM  
proj. capt. PLM  
date 03-24-25  
proj. no. ---

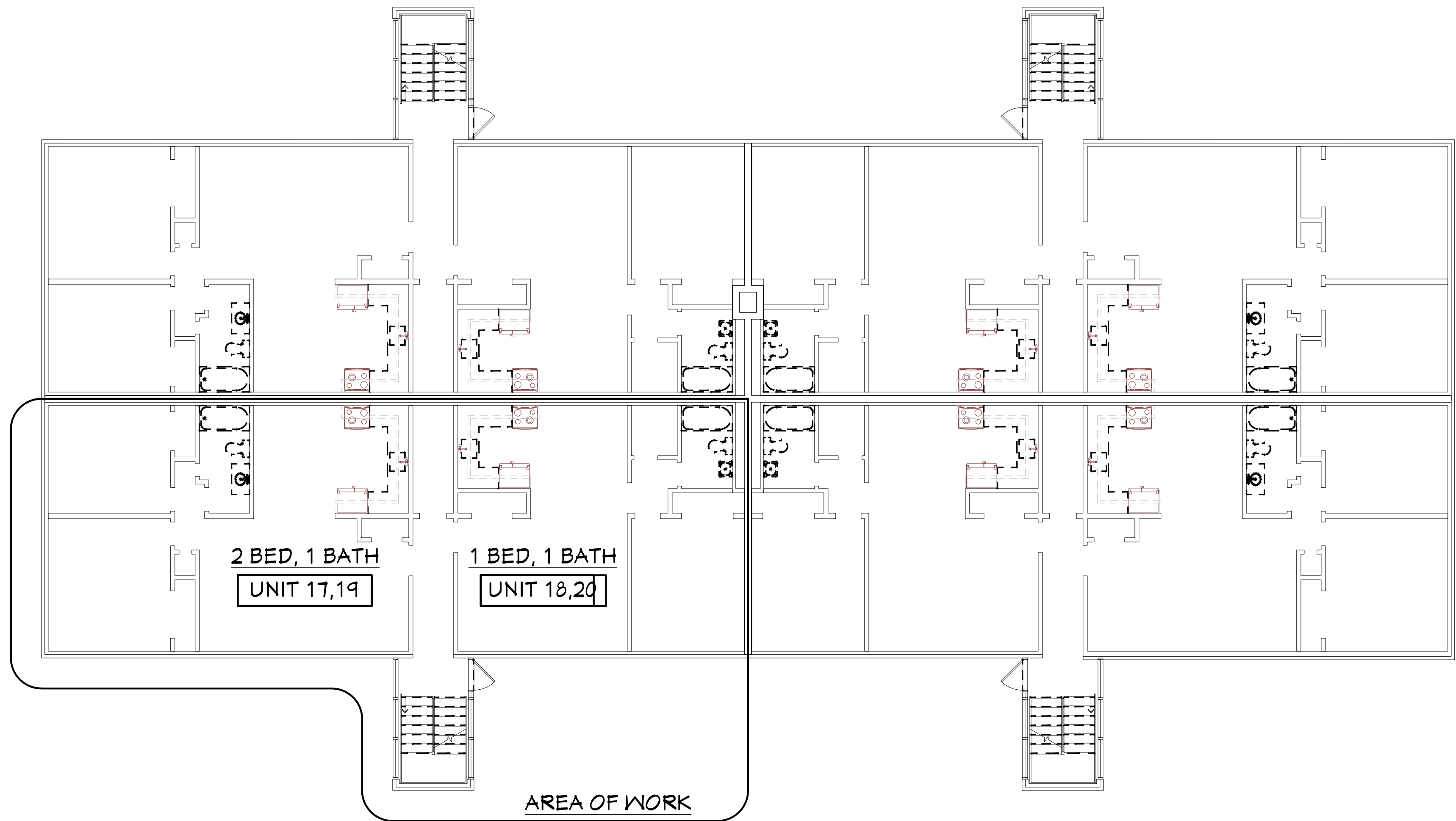
ISSUE DATE

03-24-25





1 BUILDING 2 BASEMENT/CRAWLSPACE PLAN  
SCALE: 1/8"=1'-0"



2 BUILDING 2 KEY PLAN  
SCALE: 1/8"=1'-0"



THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE ARCHITECTURE AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE ARCHITECTURE. ALL RIGHTS RESERVED. ©

NOTICE: IT IS A VIOLATION OF NEW YORK STATE LAW TO ALTER PLANS, SPECIFICATIONS OR REPORTS TO WHICH THE SEAL OF AN ARCHITECT HAS BEEN APPLIED. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF THE ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE.

REVISIONS			
no.	date	by	description

PROJECT & CLIENT

**RENOVATIONS TO**

**1289-1310**  
**LEXINGTON AVE.**  
ROCHESTER, NY 14606

**BUILDING 2, ENTRANCE 17**  
**APARTMENTS 17-20**

ROCHESTER HOUSING AUTHORITY  
6 CHRISTOPHER COURT,  
ROCHESTER, NY 14606

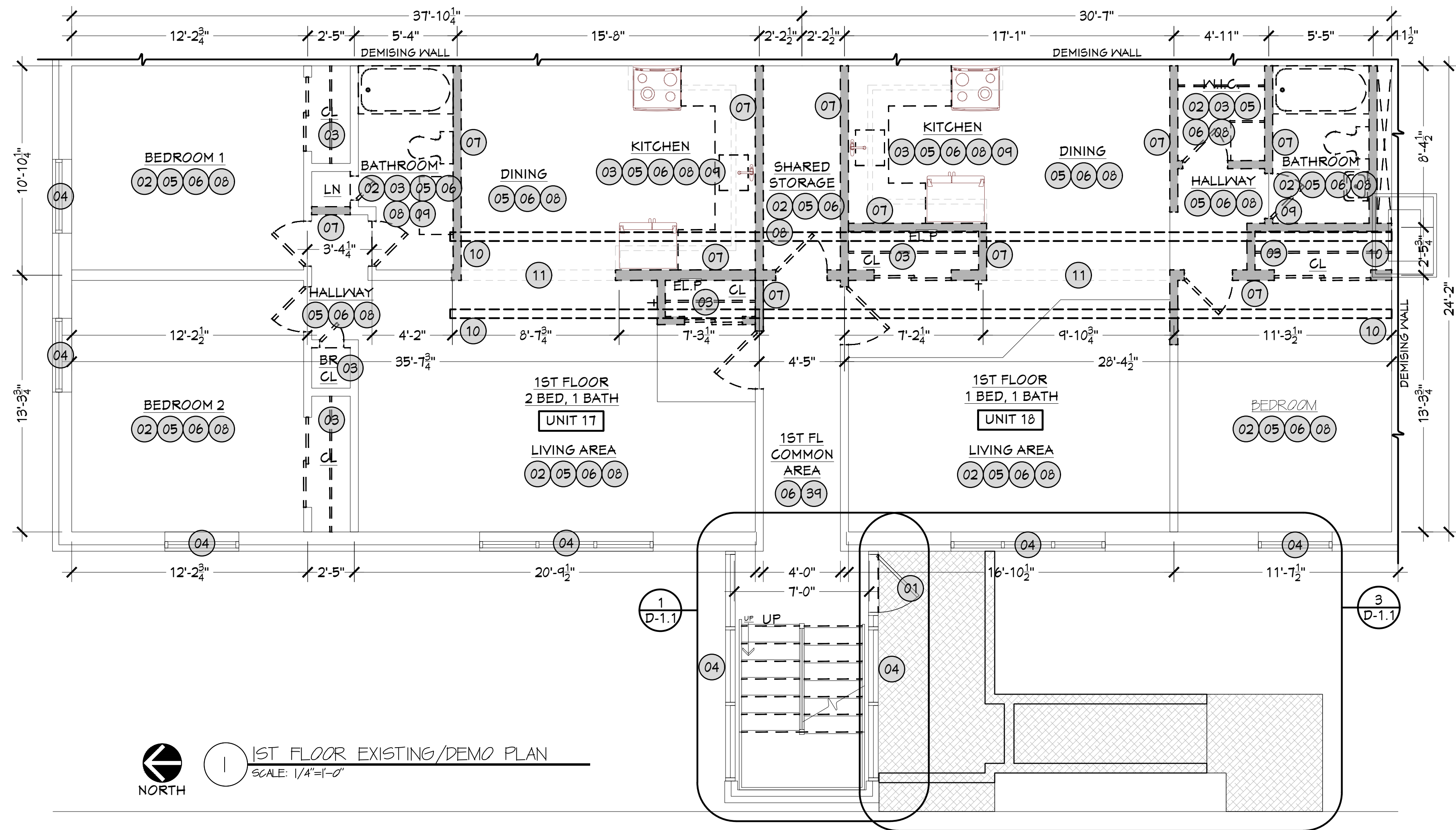
DRAWING TITLE

**BUILDING 2**  
**KEY PLANS**

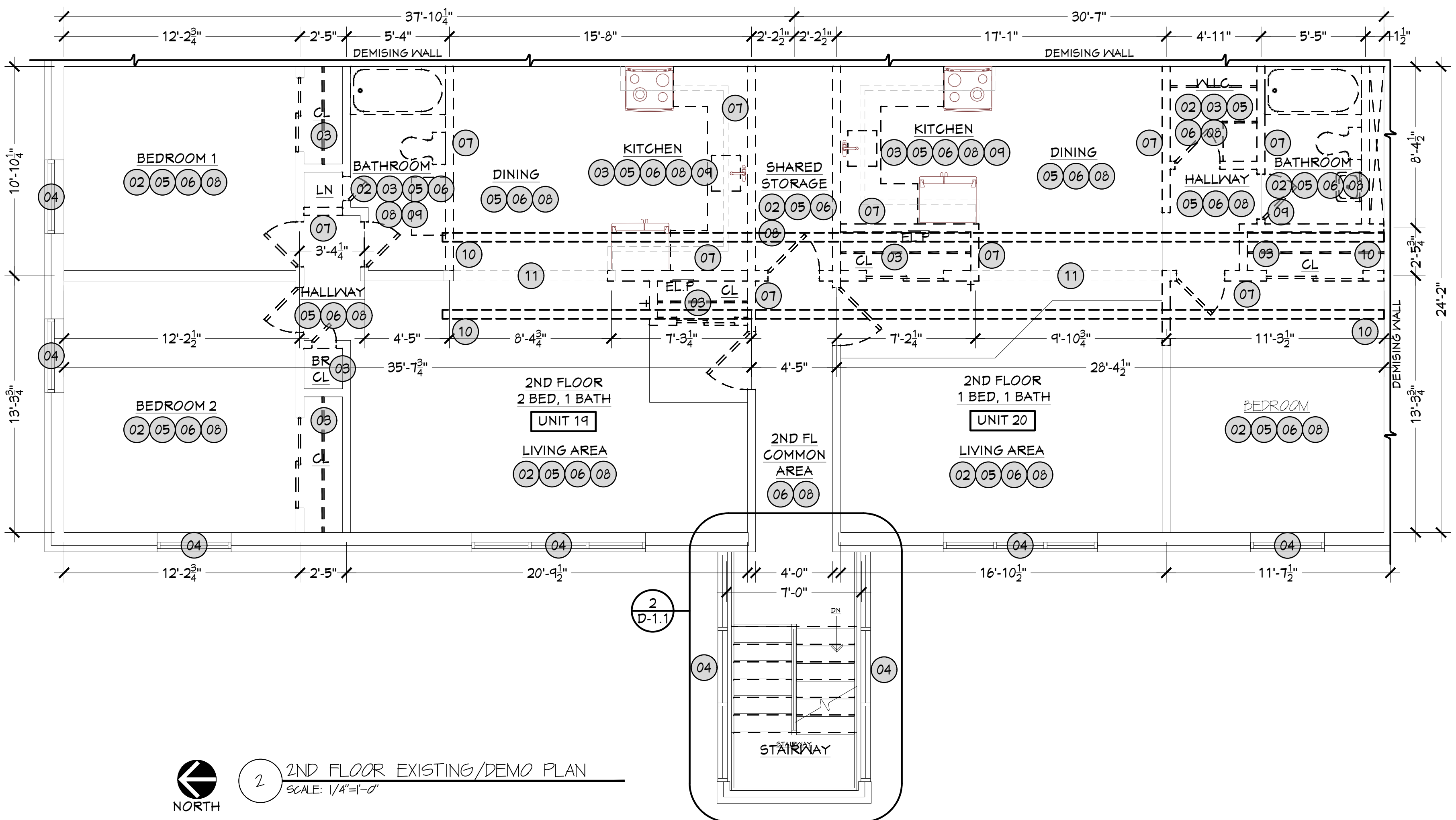
DRAWING NO.		drawn by	JLT
<b>C-1.0</b>	checked	PLM	
	proj. capt.	PLM	
	date	03-24-25	
	proj. no.	---	

ISSUE DATE

**03-24-25**



KEY NOTES:			
#	EXISTING/DEMO	#	NEW
01	EXISTING DOOR TO REMAIN		
02	EXISTING DOORS TO BE REMOVED		
03	EXISTING CABINETRY, COUNTERTOPS, APPLIANCES AND/OR SHELVING TO BE REMOVED		
04	EXISTING WINDOW TO REMAIN		
05	EXISTING GYP. BD. ON WALLS (1ST AND 2ND FLOORS) TO BE REMOVED EXISTING GYP. BD. CEILING (1ST FLOOR ONLY) TO BE REMOVED **(2ND FLOOR CEILING TO REMAIN, U.O.N.), PATCH AND REPAIR AS NEEDED**		
06	EXISTING FLOOR FINISH TO BE REMOVED DOWN TO EXISTING SUBFLOOR		
07	EXISTING SECTION OF WALL TO BE REMOVED		
08	EXISTING ELECTRICAL AND LIGHTING TO BE REMOVED & REPLACED THRU-OUT		
09	EXISTING PLUMBING AND PLUMBING FIXTURES TO BE REMOVED & REPLACED THRU-OUT - SEE ELECTRICAL ENGINEERS DRAWINGS		
10	TEMPORARY 2 X 4 BEARING WALL - REMOVE ONLY AFTER NEW BEARING WALL AND RAISED HEADER HAS BEEN INSTALLED		
11	REMOVE EXISTING HEADER AND TRIM EXISTING FLOOR JOISTS TO ALLOW FOR NEW RAISED HEADER		



THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE ARCHITECTURE AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE ARCHITECTURE. ALL RIGHTS RESERVED. ©

NOTICE: IT IS A VIOLATION OF NEW YORK STATE LAW TO ALTER PLANS, SPECIFICATIONS OR REPORTS TO WHICH THE SEAL OF AN ARCHITECT HAS BEEN APPLIED. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF THE ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE.

REVISIONS			
no.	date	by	description

PROJECT & CLIENT

**RENOVATIONS TO**

**1289-1310**  
**LEXINGTON AVE.**  
ROCHESTER, NY 14606

**BUILDING 2, ENTRANCE 17**  
**APARTMENTS 17-20**

ROCHESTER HOUSING AUTHORITY  
6 CHRISTOPHER COURT,  
ROCHESTER, NY 14606

DRAWING TITLE

**APARTMENT 17-20**  
**EXISTING/DEMO PLANS**  
**W/ KEY NOTES**

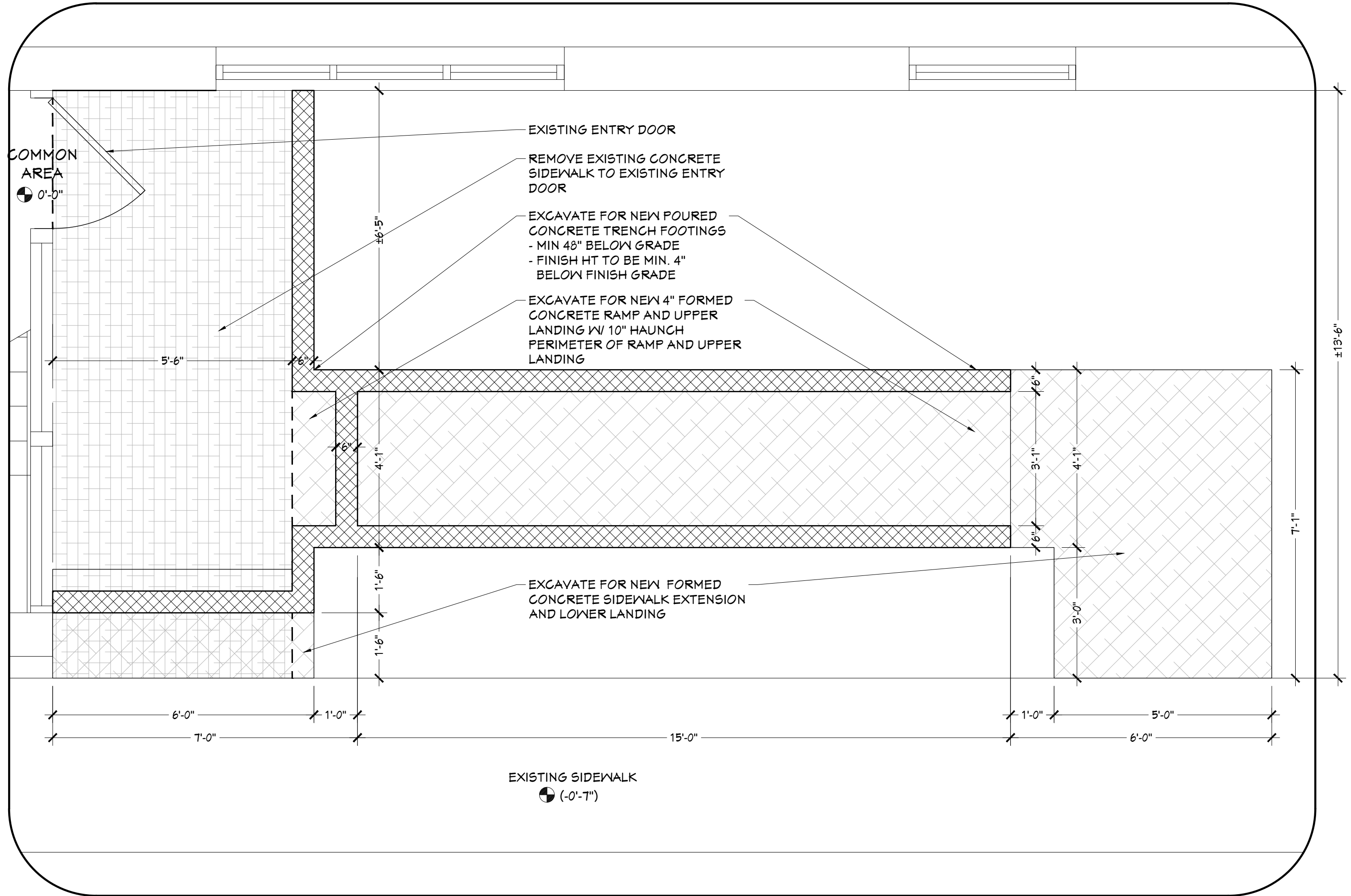
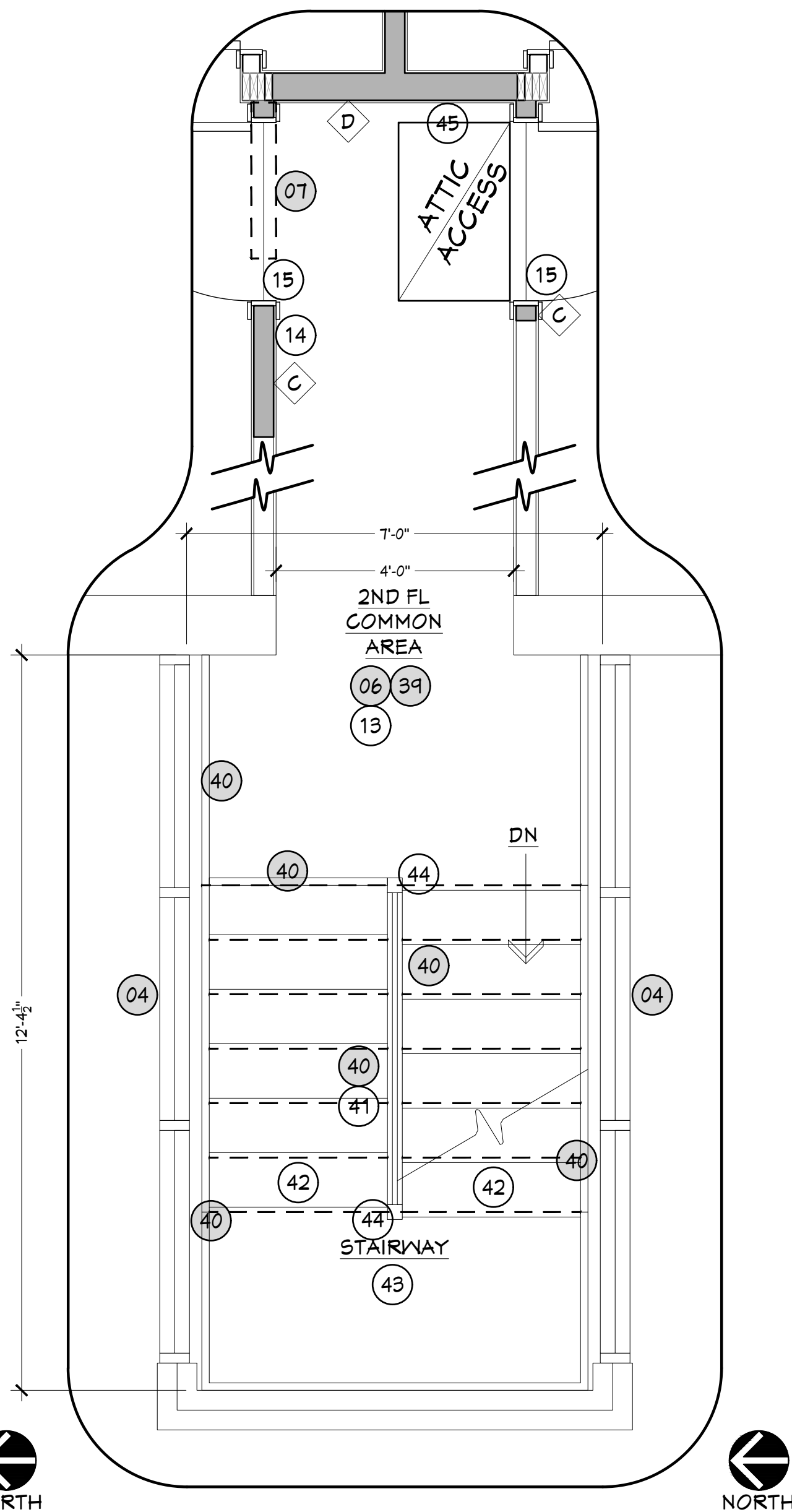
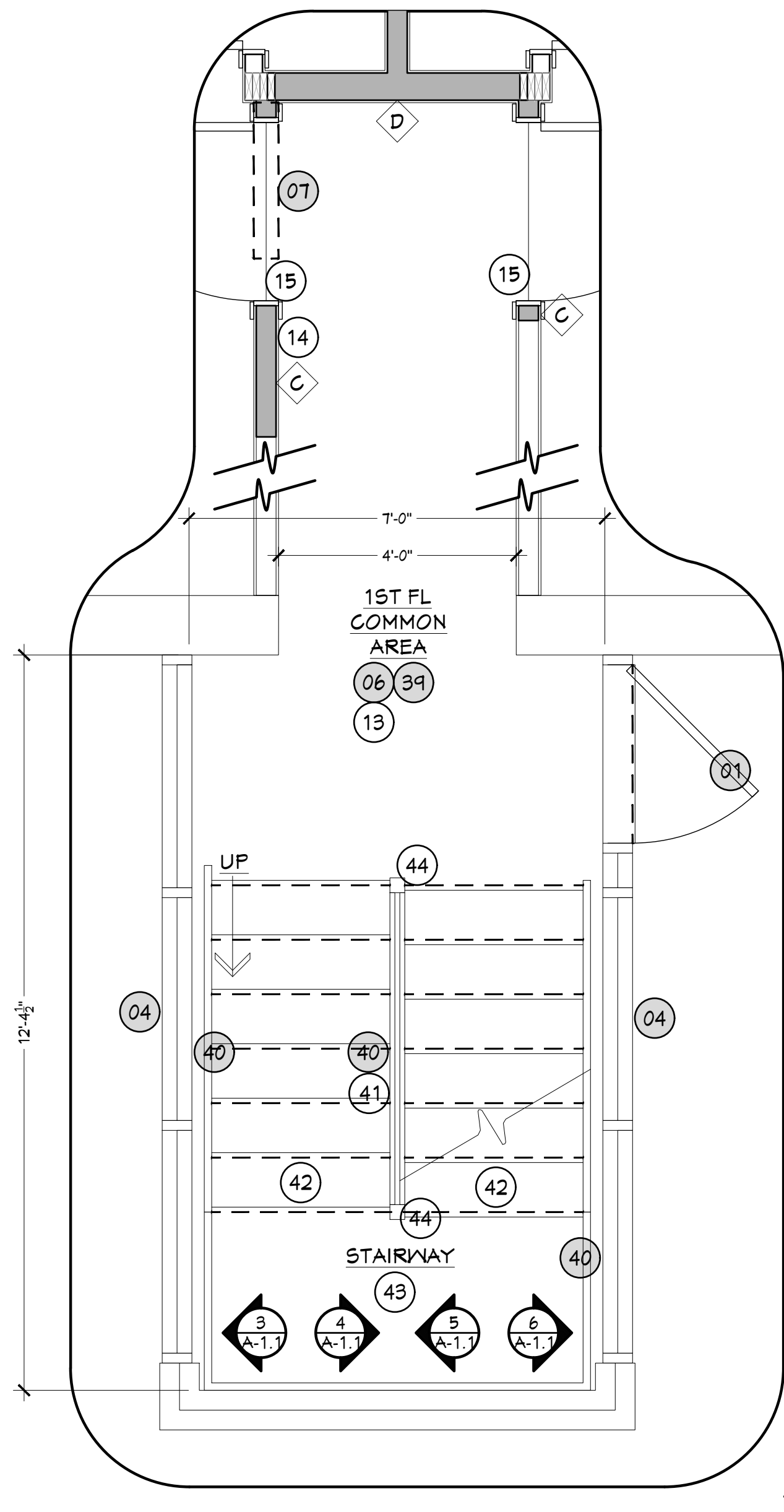
DRAWING NO.		drawn by	JLT
<b>D-1.0</b>		checked	PLM
		proj. capt.	PLM
		date	03-24-25
		proj. no.	---

ISSUE DATE

**03-24-25**



# EXISTING/DEMO		# NEW		KEY NOTES:								
01	EXISTING DOOR TO REMAIN	11	REMOVE EXISTING HEADER AND TRIM EXISTING FLOOR JOISTS TO ALLOW FOR NEW RAISED HEADER	21	PLASTIC LAMINATE COUNTERTOPS W/ OGEE EDGING, TYP., PER SPECS	31	TUB/SHOWER PLUMBING ACCESS PANEL PER SPECS	41	NEW CUSTOM STEEL RAILING ASSEMBLIES - WELD IN PLACE TO EXISTING STRINGERS AND POSTS - PRIME AND PAINT STAIRS, STRINGERS, POSTS AND RAILINGS			
02	EXISTING DOORS TO BE REMOVED	12	NEW (3) 1 1/2" X 1 1/2" RAISED LVL HEADER (1ST FLOOR ONLY) & (3) 1 1/2" X 9 1/2" DROPPED LVL HEADER (2ND FLOOR ONLY) @ EXISTING BEARING WALL FULL BEARING ON DBL JACK STUDS BOTH SIDES PER SPECS - SEE ALSO SECTION DETAILS A-1/-	22	WALL MOUNTED PLASTIC LAMINATE BACKSPLASH FROM TOP OF COUNTERTOP TO UNDERSIDE OF UPPER CABINETS - SEE ALSO ELEVATIONS	32	STACKED WASHER DRYER LOCATION - SEE ALSO SPECS	42	ULINE COIN GRIP TREADS AND RISERS - ATTACH WITH MANUFACTURERS ADHESIVE			
03	EXISTING CABINETRY, COUNTERTOPS, APPLIANCES AND/OR SHELVING TO BE REMOVED	13	SEE INTERIOR ELEVATIONS FOR ADDITIONAL DETAILS	23	S.S. PANEL BEHIND RANGE FROM 36" A.F.F. TO UNDERSIDE OF RANGE HOOD	33	SIDE BY SIDE WASHER DRYER LOCATION - SEE ALSO SPECS	43	ULINE COIN GRIP LANDING TILES - ATTACH WITH MANUFACTURERS ADHESIVE			
04	EXISTING WINDOW TO REMAIN	14	INFILL EXISTING OPENING TO MATCH EXISTING WALL ASSEMBLY	24	8 X 8 X 1 1/2" BLIND COUNTERTOP BRACKETS - MAX 30" O.C.	34	WASHING MACHINE GRAY BOX, OVERFLOW PAN AND VENTING BY HVAC ENGINEER	44	3 1/2" X 3 1/2" STEEL POST CAPS WELDED TO EXISTING POSTS, TYP., PRIME AND PAINT			
05	EXISTING GYP. BD. ON WALLS (1ST AND 2ND FLOORS) TO BE REMOVED EXISTING GYP. BD. CEILING (1ST FLOOR ONLY) TO BE REMOVED ** (2ND FLOOR CEILING TO REMAIN, U.O.N.), PATCH AND REPAIR AS NEEDED**	15	TRANSITION STRIP PER SPECS	25	SOFFITS ABOVE ALL KITCHEN CABINETRY W/ 3" EXTENSION BEYOND CABINET DEPTH - 2 X 4 FRAMING @ 16" O.C. W/ 1/2" GYP. BD., TYP.	35	12" HT X 36" DP SOFFIT @ LAUNDRY AREA	45	NEW ATTIC ACCESS HATCH IN 2ND FLOOR COMMON AREA			
06	EXISTING FLOOR FINISH TO BE REMOVED DOWN TO EXISTING SUBFLOOR	16	STANDARD KITCHEN CABINETRY PER SPECS - STYLE AND SIZES AS SHOWN	26	KITCHEN APPLIANCES PER SPECS	36	1ST FLOOR BATHROOMS ONLY: 6" TO 9" HT FRAMED CEILING TO ALLOW FOR 2ND FLOOR WASTE LINES - SOUND BATT. BETWEEN EACH CEILING JOIST	SCHEDULE & DETAIL SYMBOLS				
07	EXISTING SECTION OF WALL TO BE REMOVED	17	ACCESSIBLE KITCHEN CABINETRY PER SPECS - STYLE AND SIZES AS SHOWN	27	18" DEEP X 12" TALL MECHANICAL SOFFITS ALONG EXTERIOR WALL - 2 X 4 FRAMING @ 16" O.C. W/ 1/2" GYP. BD., TYP.	37	OMITTED				##	APARTMENT NUMBER
08	EXISTING ELECTRICAL AND LIGHTING TO BE REMOVED & REPLACED THRU-OUT	18	ALL UNFINISHED EXPOSED CABINETS TO RECEIVE A MATCHING FINISH PANEL PER SPECS	28	CLOTHING ROD AND 15" SHELF PER SPECS - SINGLE ROD @ 66" A.F.F. - DOUBLE ROD @ 40" & 80" A.F.F.	38	CLOSET ORGANIZER KIT PER SPECS				D##	DOOR SCHEDULE
09	EXISTING PLUMBING AND PLUMBING FIXTURES TO BE REMOVED & REPLACED THRU-OUT - SEE ELECTRICAL ENGINEERS DRAWINGS	19	MATCHING FILLER STRIP PER SPECS	29	(5) PLYWOOD SHELVES W/ 1 X 3 CLEAT PERIMETER- PRIME AND PAINT, COLOR WHITE	39	COMMON AREA: EXISTING ELECTRICAL TO REMAIN LIGHT FIXTURE TO BE REMOVED & REPLACED				W##	WINDOW SCHEDULE
10	TEMPORARY 2 X 4 BEARING WALL - REMOVE ONLY AFTER NEW BEARING WALL AND RAISED HEADER HAS BEEN INSTALLED	20	4" VINYL BASE TRIM @ ALL CABINETRY TOE KICKS PER SPECS	30	(2) PLYWOOD SHELVES @ 60" & 80" A.F.F. W/ 1 X 3 CLEAT PERIMETER - PRIME AND PAINT, COLOR WHITE	40	COMMON AREA STAIRCASE - INTERMEDIATE RAILING ASSEMBLIES TO BE REMOVED TO ALLOW FOR RAILING ASSEMBLIES *EXISTING POSTS AND STRINGERS TO REMAIN - PREPARE SURFACE FOR NEW SECTIONS				#	WALL TYPE



1 EXISTING/DEMO 1ST FLOOR COMMON AREA PLAN  
SCALE: 1/2"=1'-0"

2 EXISTING/DEMO 1ST FLOOR COMMON AREA PLAN  
SCALE: 1/2"=1'-0"

3 EXISTING/DEMO SITE PLAN  
SCALE: 1/2"=1'-0"

**P L** Peter L.  
**M A** Morse  
& Associates  
ARCHITECT A.I.A.

311 Alexander Street  
Suite 215  
Rochester, N. Y. 14604  
Phone 585-530-2230  
Fax 585-530-3302



THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE ARCHITECTURE AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE ARCHITECTURE. ALL RIGHTS RESERVED. ©  
NOTICE: IT IS A VIOLATION OF NEW YORK STATE LAW TO ALTER PLANS, SPECIFICATIONS OR REPORTS TO WHICH THE SEAL OF AN ARCHITECT HAS BEEN APPLIED. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF THE ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE.

REVISIONS			
no.	date	by	description
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

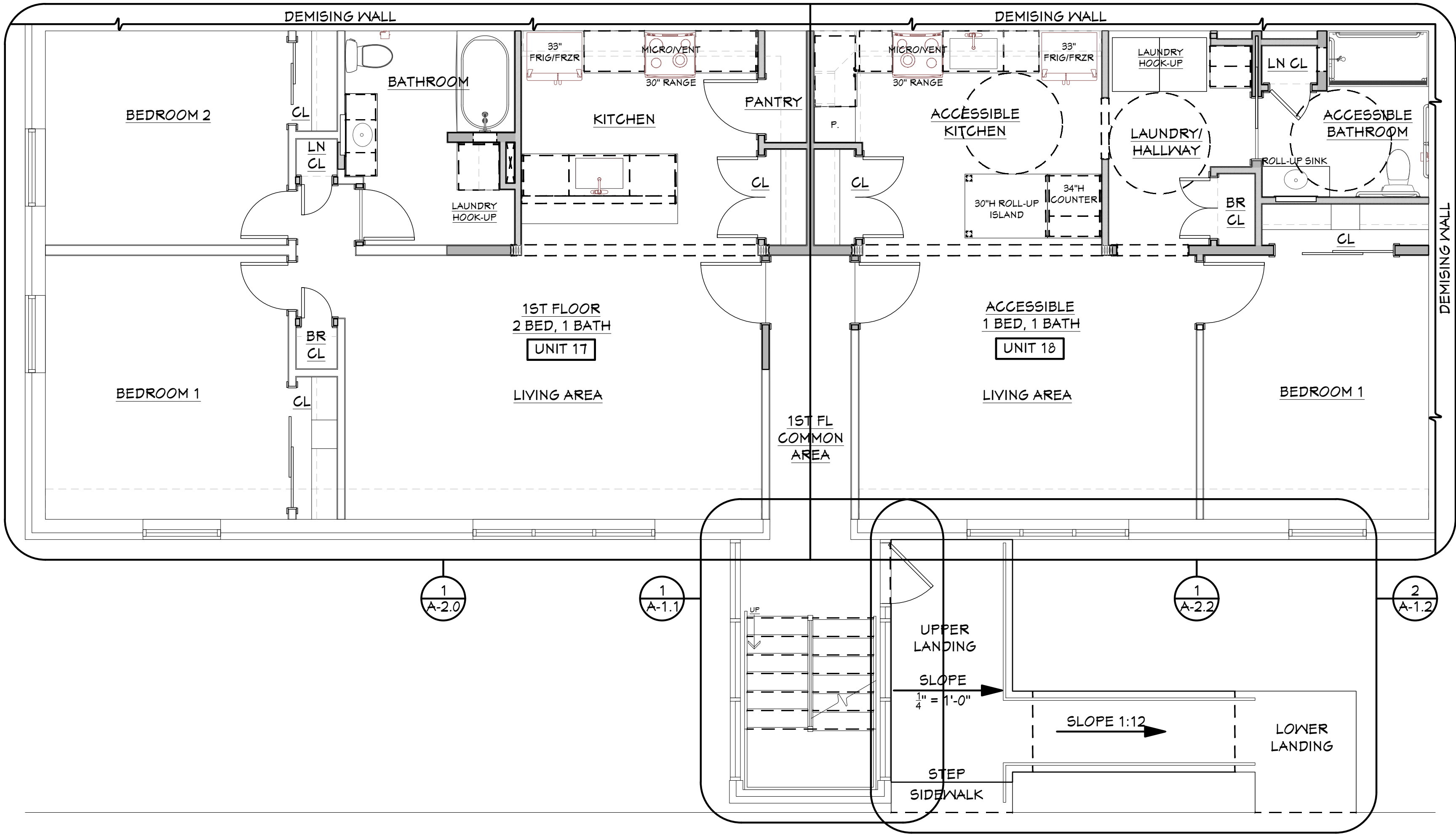
PROJECT & CLIENT  
**RENOVATIONS TO**  
**1289-1310**  
**LEXINGTON AVE.**  
ROCHESTER, NY 14606  
**BUILDING 2, ENTRANCE 17**  
**APARTMENTS 17-20**  
ROCHESTER HOUSING AUTHORITY  
6 CHRISTOPHER COURT,  
ROCHESTER, NY 14606

DRAWING TITLE  
**KEY PLANS W/  
EXISTING/DEMO PLANS**

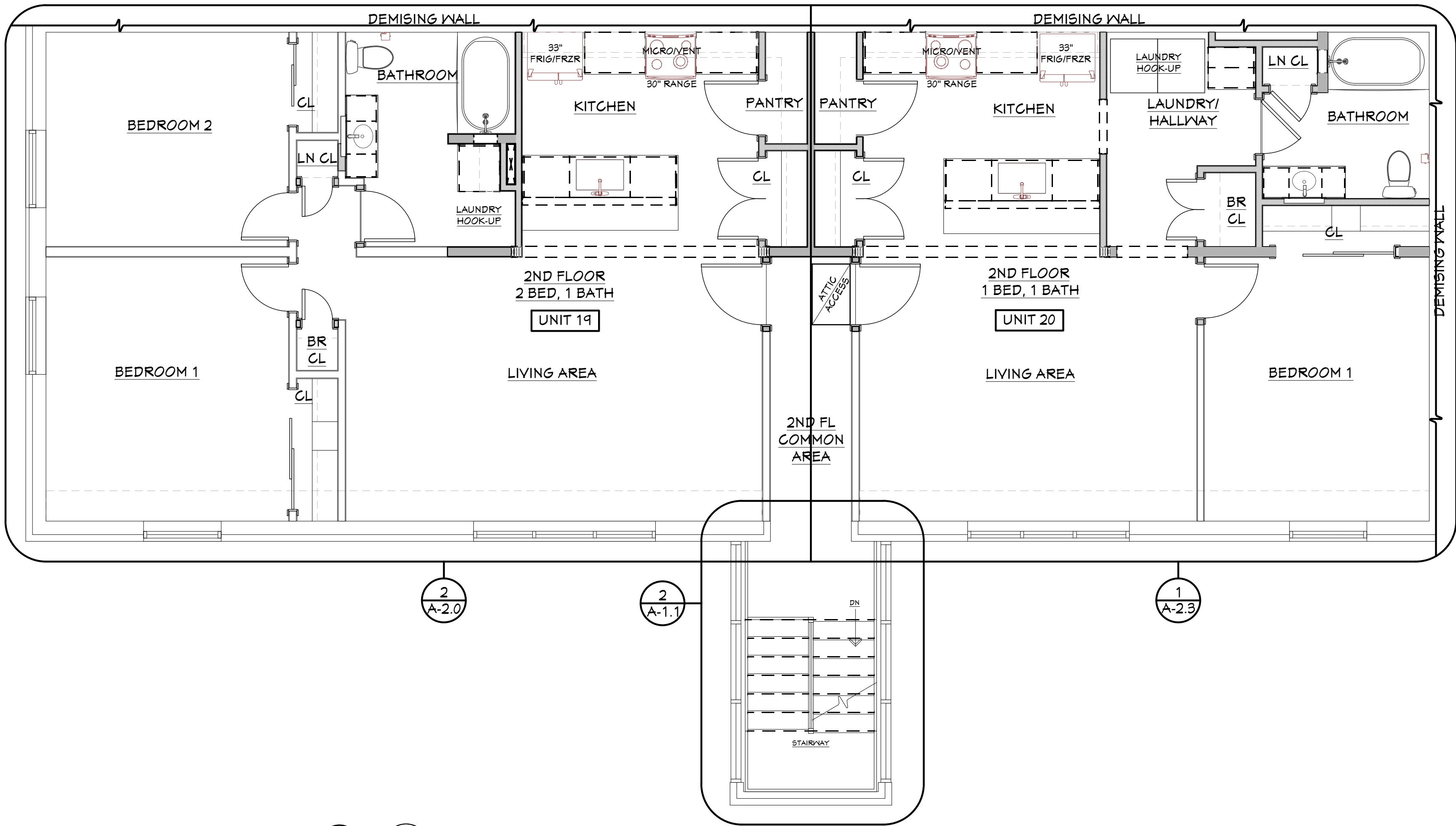
DRAWING NO.	drawn by	JLT
	checked	PLM
	proj. capt.	PLM
	date	03-24-25
	proj. no.	---

ISSUE DATE  
**03-24-25**





1 1ST FLOOR KEY PLAN  
SCALE: 1/4"=1'-0"



2 2ND FLOOR KEY PLAN  
SCALE: 1/4"=1'-0"

ROOM FINISH SCHEDULE

ROOM NAME	APT UNIT #	FLOOR FINISH	BASE TRIM	WALL FINISH	CEILING FINISH	CEILING HEIGHT	REMARKS
1ST FL COMMON AREA	17,18	COMMERCIAL CARPET TILES	4" VINYL BASE	EXISTING TO REMAIN - P&P	EXISTING TO REMAIN - P&P	8'-0"	* SET VINYL COVE IN SEALANT
2ND FL COMMON AREA	19,20	COMMERCIAL CARPET TILES	4" VINYL BASE	EXISTING TO REMAIN - P&P	EXISTING TO REMAIN - P&P	8'-0"	* SET VINYL COVE IN SEALANT
STAIRWAY	17-20	EXISTING	EXISTING	EXISTING	EXISTING TO REMAIN - P&P	VARIES	
1ST FLOOR LIVING AREA	17,18	TILE	4" WID - P&P	1/2" GYP. BD. - P&P	5/8" GYP. BD. - P&P	8'-0"	
1ST FLOOR KITCHEN	17	TILE	4" WID - P&P	1/2" GYP. BD. - P&P (M.R. KITCHEN SINK WALL)	5/8" GYP. BD. - P&P	8'-0"	4" VINYL COVE BASE @ CABINETRY TOE KICKS
1ST FLOOR ADA KITCHEN	18	TILE	4" WID - P&P	1/2" GYP. BD. - P&P (M.R. KITCHEN SINK WALL)	5/8" GYP. BD. - P&P	8'-0"	4" VINYL COVE BASE @ CABINETRY TOE KICKS
1ST FLOOR BATHROOM	17	TILE	3" TILE	1/2" M.R. GYP. BD. - P&P	5/8" M.R. GYP. BD. - P&P	8'-0"	1/2" CEMENT BD. SHOWER SURROUND 4" VINYL COVE BASE @ CABINETRY TOE KICKS
1ST FLOOR ADA BATHROOM	18	TILE	3" TILE	1/2" M.R. GYP. BD. - P&P	5/8" M.R. GYP. BD. - P&P	8'-0"	1/2" CEMENT BD. SHOWER SURROUND 4" VINYL COVE BASE @ CABINETRY TOE KICKS
1ST FLOOR HALLWAY	17	TILE	4" WID - P&P	5/8" GYP. BD. - P&P	5/8" GYP. BD. - P&P	8'-0"	
1ST FLOOR LAUNDRY/HALLWAY	18	TILE	4" WID - P&P	5/8" GYP. BD. - P&P	5/8" GYP. BD. - P&P	8'-0"	
1ST FLOOR BEDROOM 1	17,18	TILE	4" WID - P&P	1/2" GYP. BD. - P&P	5/8" GYP. BD. - P&P	8'-0"	
1ST FLOOR BEDROOM 2	17	TILE	4" WID - P&P	1/2" GYP. BD. - P&P	5/8" GYP. BD. - P&P	8'-0"	
2ND FLOOR LIVING AREA	19,20	TILE	4" WID - P&P	1/2" GYP. BD. - P&P	EXISTING TO REMAIN REMOVE TEXTURE - P&P	8'-0"	
2ND FLOOR KITCHEN	19,20	TILE	4" WID - P&P	1/2" GYP. BD. - P&P (M.R. KITCHEN SINK WALL)	EXISTING TO REMAIN - P&P	8'-0"	4" VINYL COVE BASE @ CABINETRY TOE KICKS
2ND FLOOR BATHROOM	19,20	TILE	3" TILE	1/2" M.R. GYP. BD. - P&P	EXISTING TO REMAIN - P&P	8'-0"	1/2" CEMENT BD. SHOWER SURROUND 4" VINYL COVE BASE @ CABINETRY TOE KICKS
2ND FLOOR HALLWAY	19	TILE	4" WID - P&P	5/8" GYP. BD. - P&P	EXISTING TO REMAIN REMOVE TEXTURE - P&P	8'-0"	
2ND FLOOR LAUNDRY/HALLWAY	20	TILE	4" WID - P&P	5/8" GYP. BD. - P&P	EXISTING TO REMAIN REMOVE TEXTURE - P&P	8'-0"	
2ND FLOOR BEDROOM 1	19,20	TILE	4" WID - P&P	1/2" GYP. BD. - P&P	EXISTING TO REMAIN REMOVE TEXTURE - P&P	8'-0"	
2ND FLOOR BEDROOM 2	19	TILE	4" WID - P&P	1/2" GYP. BD. - P&P	EXISTING TO REMAIN REMOVE TEXTURE - P&P	8'-0"	

GENERAL NOTES

1. EXISTING POPCORN CEILING TEXTURE TO BE REMOVED ON ALL 2ND FLOOR CEILINGS EXCEPT IN THE COMMON HALLWAY/STAIRWAY

P L Peter L. Morse  
M A & Associates  
ARCHITECT A.I.A.

311 Alexander Street  
Suite 215  
Rochester, N. Y. 14604  
Phone 585-530-2230  
Fax 585-530-3302



THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE ARCHITECTURE AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE ARCHITECTURE. ALL RIGHTS RESERVED. ©  
NOTICE: IT IS A VIOLATION OF NEW YORK STATE LAW TO ALTER PLANS, SPECIFICATIONS OR REPORTS TO WHICH THE SEAL OF AN ARCHITECT HAS BEEN APPLIED. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF THE ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE.

REVISIONS

no.	date	by	description

PROJECT & CLIENT

RENOVATIONS TO

1289-1310  
LEXINGTON AVE.  
ROCHESTER, NY 14606

BUILDING 2, ENTRANCE 17  
APARTMENTS 17-20

ROCHESTER HOUSING AUTHORITY  
6 CHRISTOPHER COURT,  
ROCHESTER, NY 14606

DRAWING TITLE

APARTMENT 17-20  
NEW PLANS W/  
ROOM FINISH SCHEDULE

DRAWING NO.

A-1.0  
drawn by JLT  
checked PLM  
proj. capt. PLM  
date 03-24-25  
proj. no. ---

ISSUE DATE

03-24-25





THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE ARCHITECTURE AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE ARCHITECTURE. ALL RIGHTS RESERVED. ©

NOTICE: IT IS A VIOLATION OF NEW YORK STATE LAW TO ALTER PLANS, SPECIFICATIONS OR REPORTS TO WHICH THE SEAL OF AN ARCHITECT HAS BEEN APPLIED. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF THE ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE.

REVISIONS			
no.	date	by	description

PROJECT & CLIENT

**RENOVATIONS TO**

**1289-1310**  
**LEXINGTON AVE.**  
ROCHESTER, NY 14606

**BUILDING 2, ENTRANCE 17**  
**APARTMENTS 17-20**

ROCHESTER HOUSING AUTHORITY  
6 CHRISTOPHER COURT,  
ROCHESTER, NY 14606

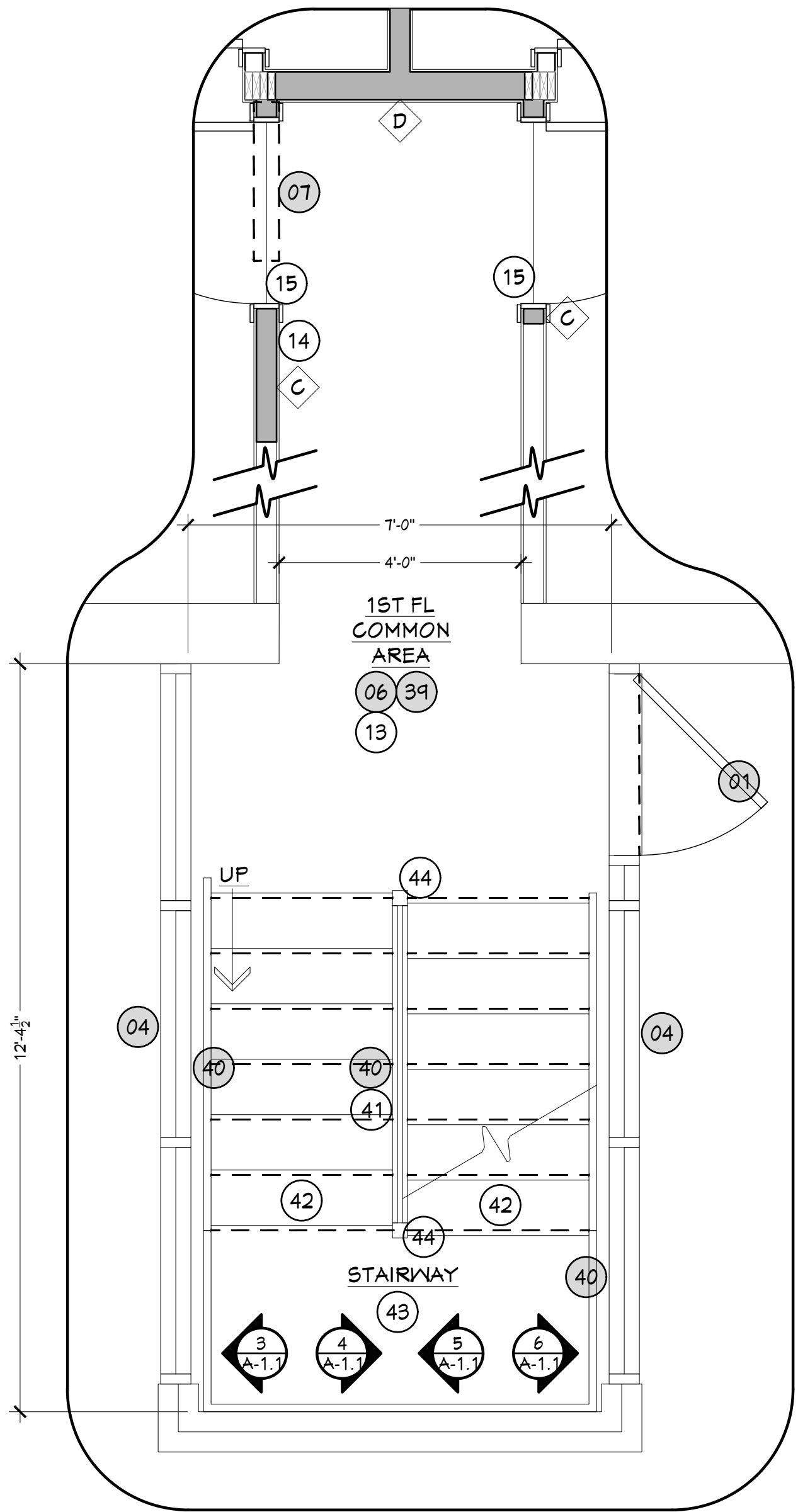
DRAWING TITLE

**NEW COMMON AREA**  
**AND STAIR PLANS**  
**W/ STAIR ELEVATIONS**

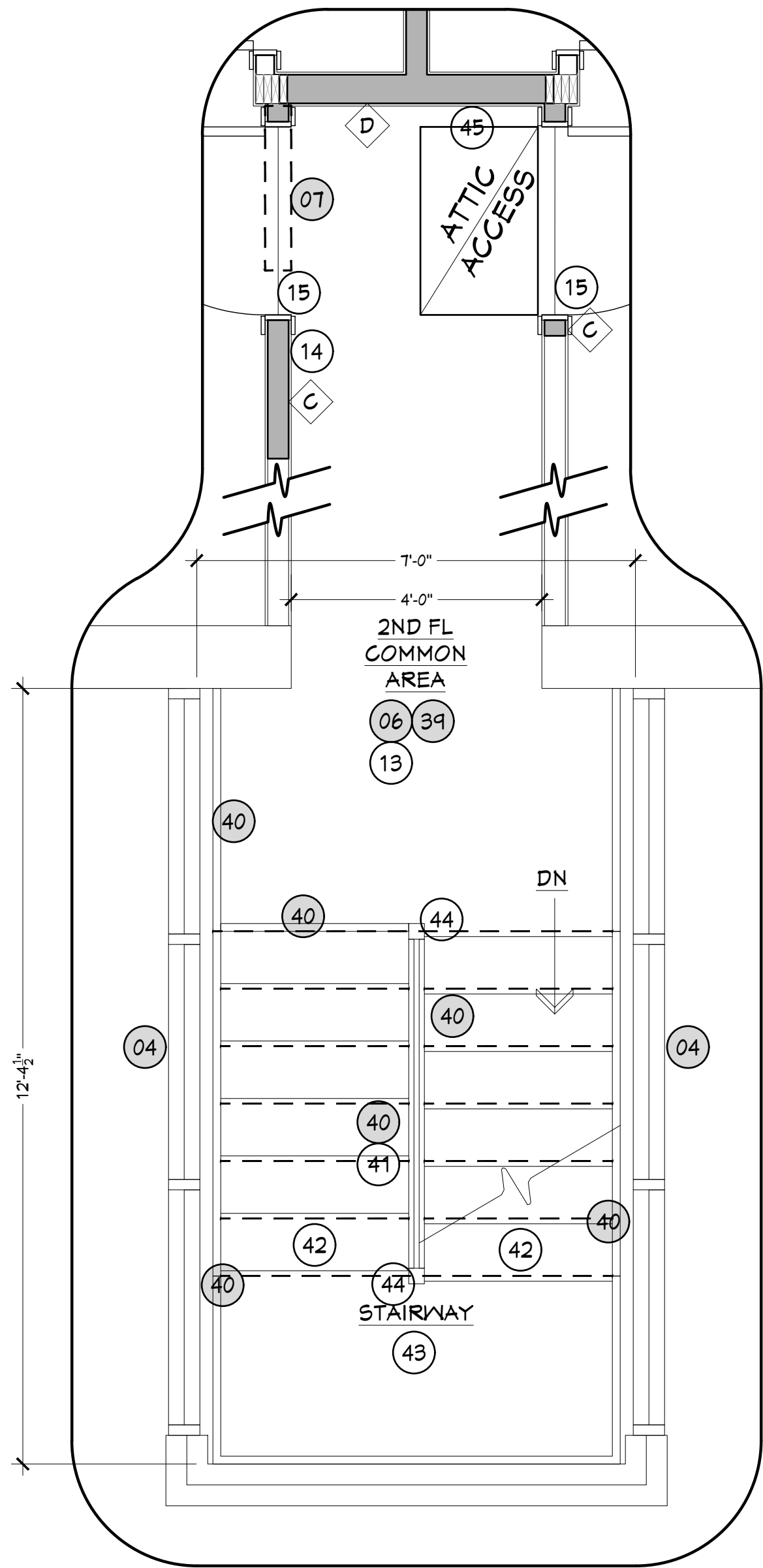
DRAWING NO.		drawn by	JLT
<b>A-1.1</b>		checked	PLM
		proj. capt.	PLM
		date	03-24-25
		proj. no.	---

ISSUE DATE

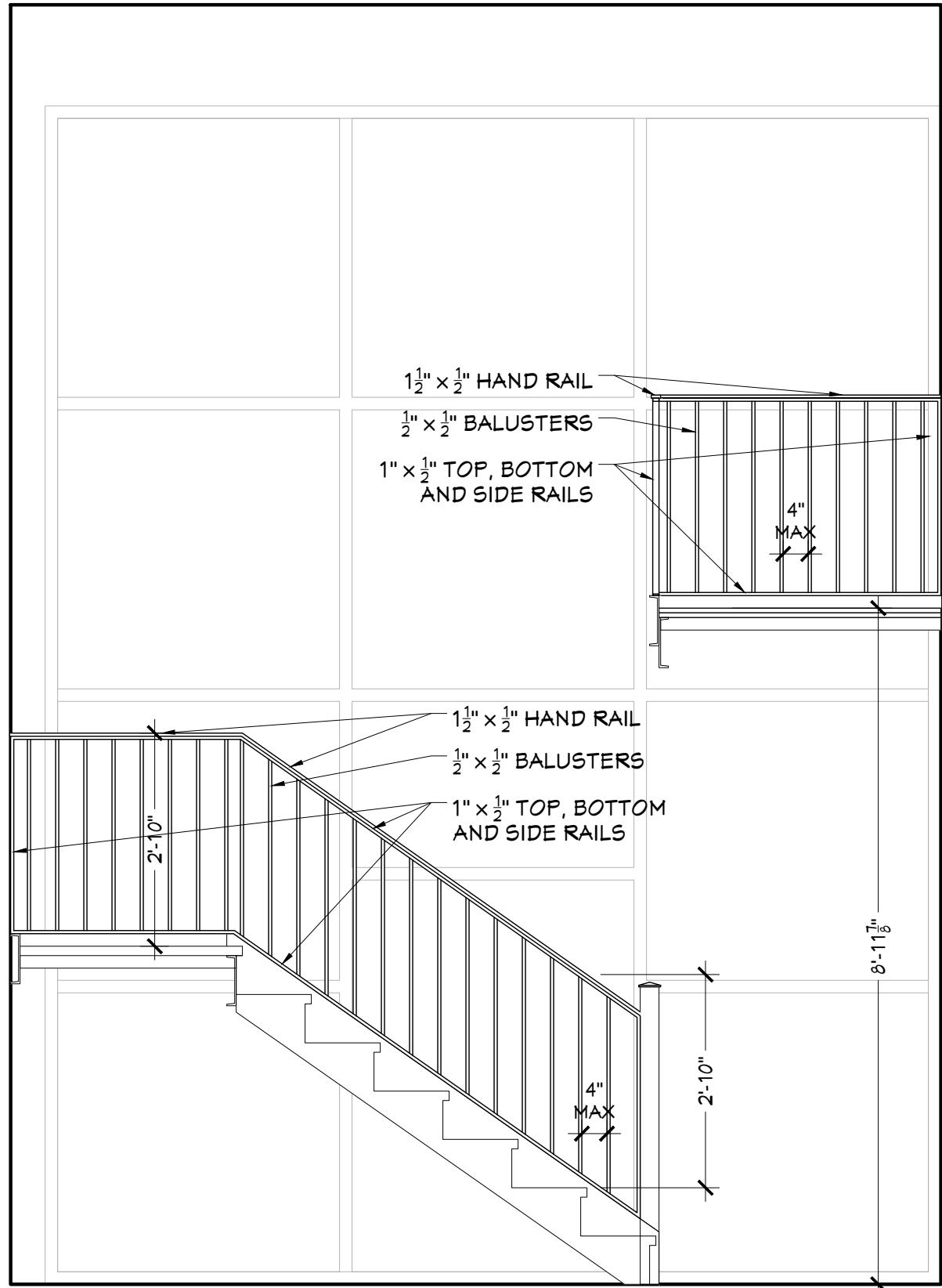
**03-24-25**



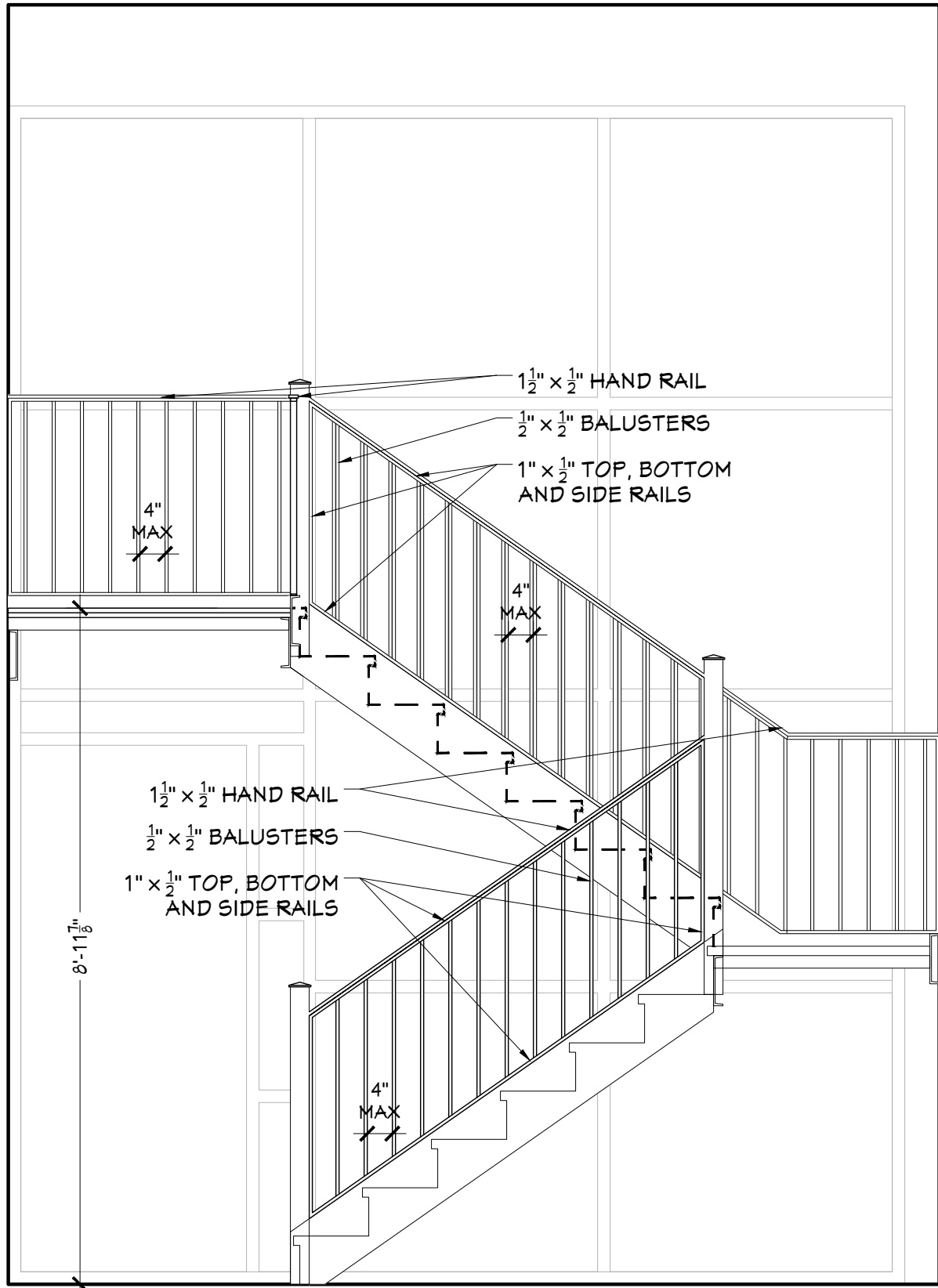
**1** 1ST FLOOR COMMON AREA PLAN  
SCALE: 1/4"=1'-0"



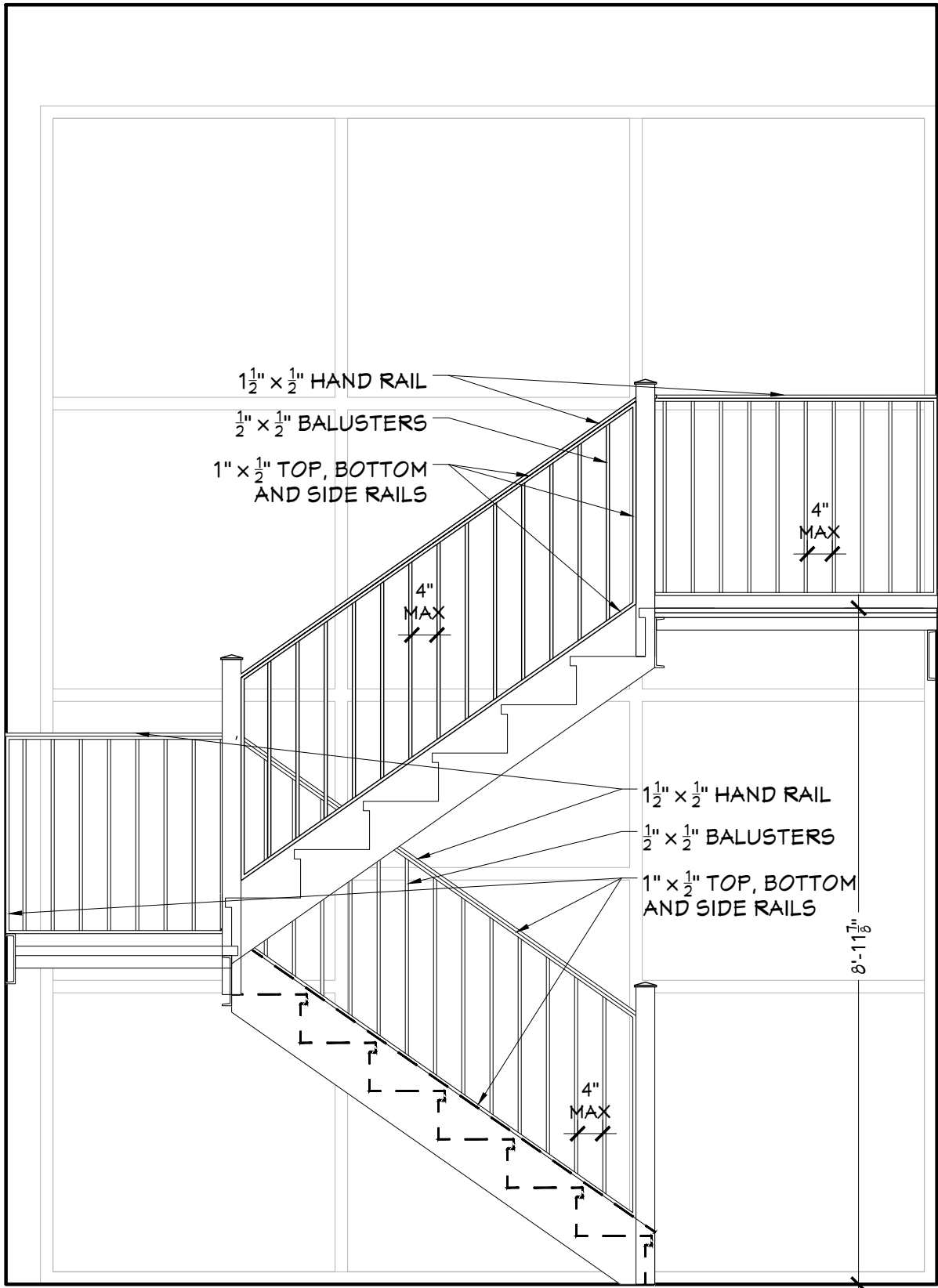
**2** 2ND FLOOR COMMON AREA PLAN  
SCALE: 1/4"=1'-0"



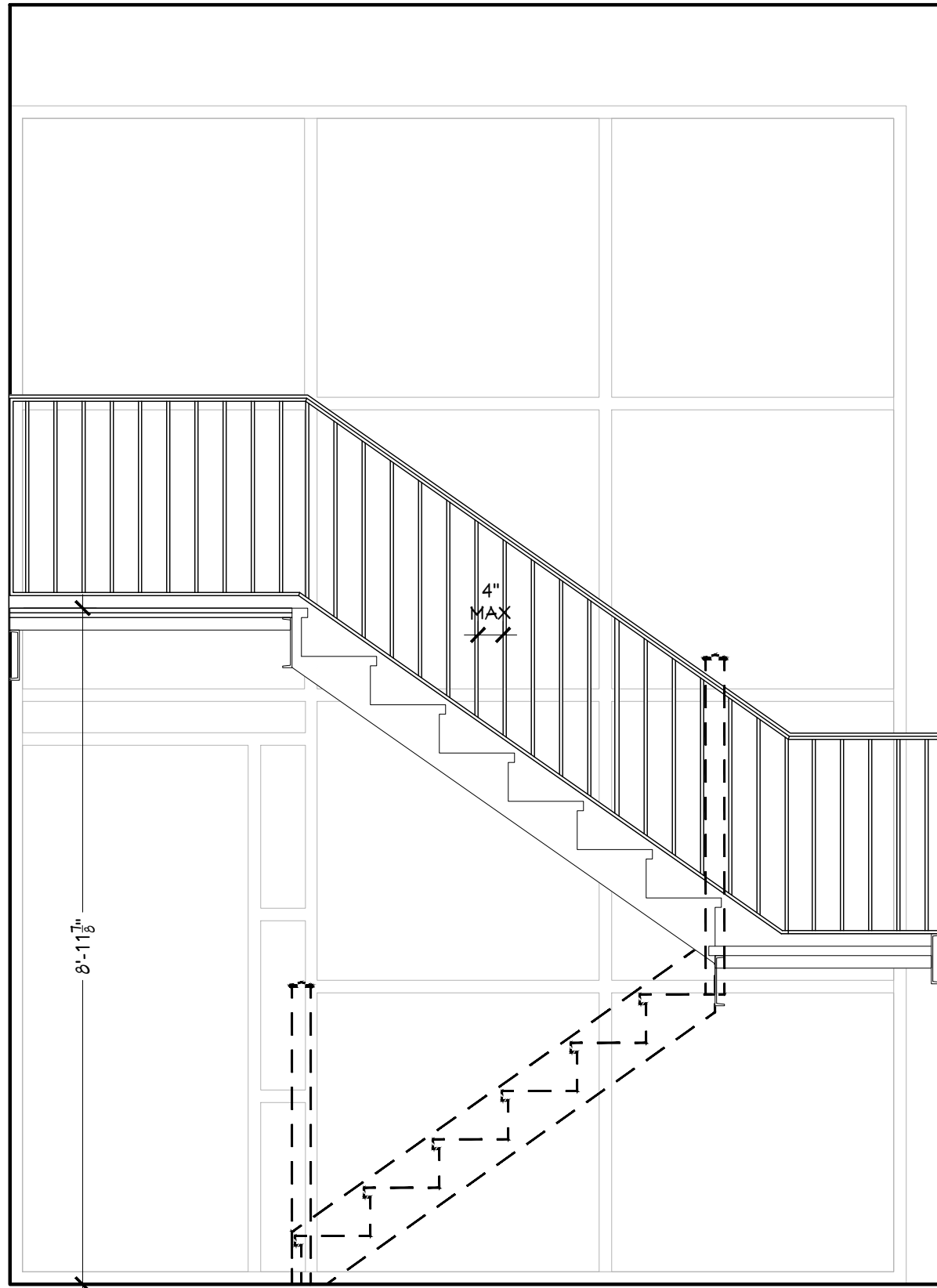
**3** STAIR ELEVATION  
SCALE: 1/2"=1'-0"



**4** STAIR ELEVATION  
SCALE: 1/2"=1'-0"

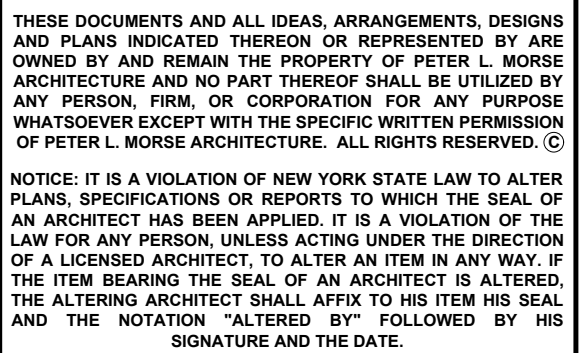


**5** STAIR ELEVATION  
SCALE: 1/2"=1'-0"



**6** STAIR ELEVATION  
SCALE: 1/2"=1'-0"





PROJECT & CLIENT

RENOVATIONS TO

**1289-1310**  
**LEXINGTON AVE.**  
ROCHESTER, NY 14606

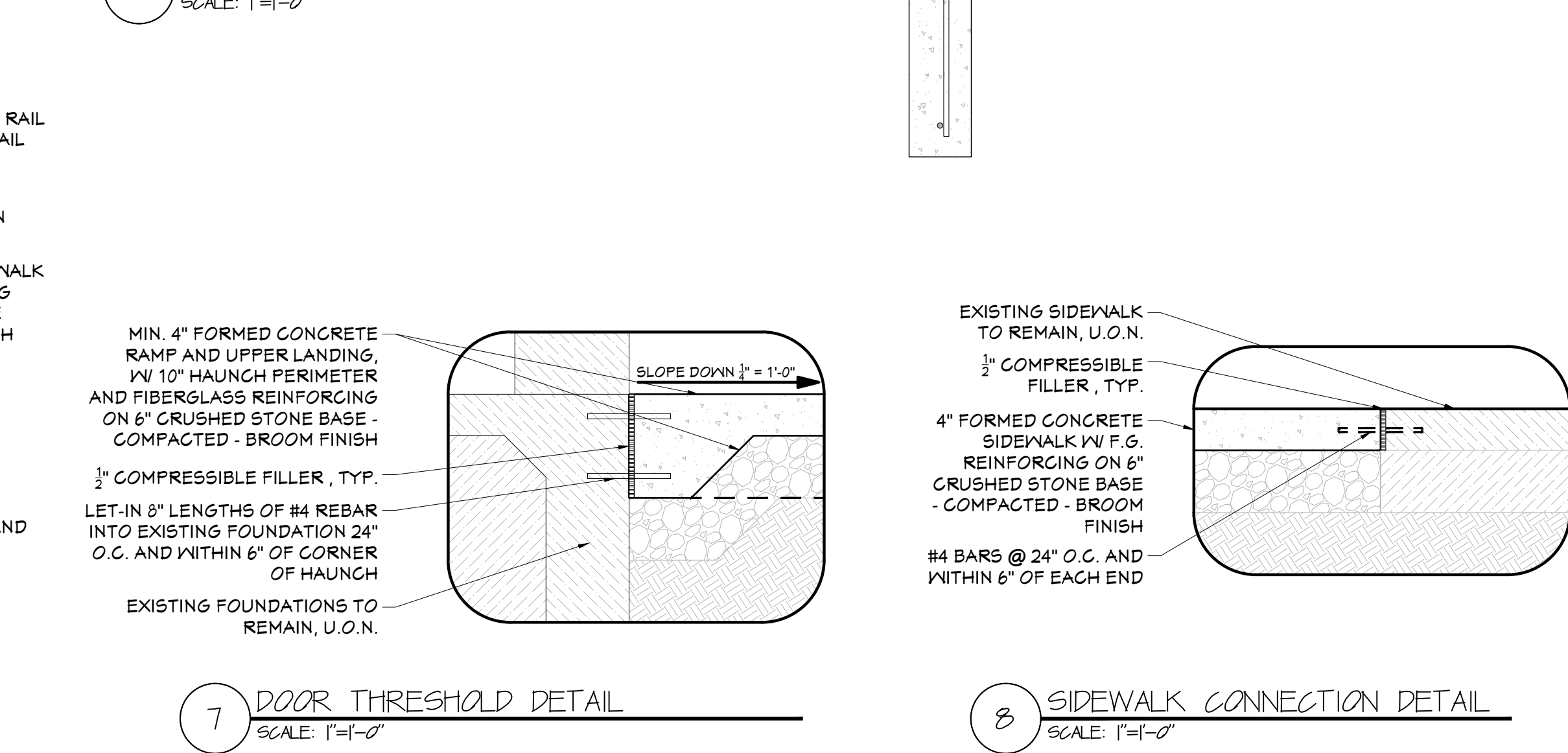
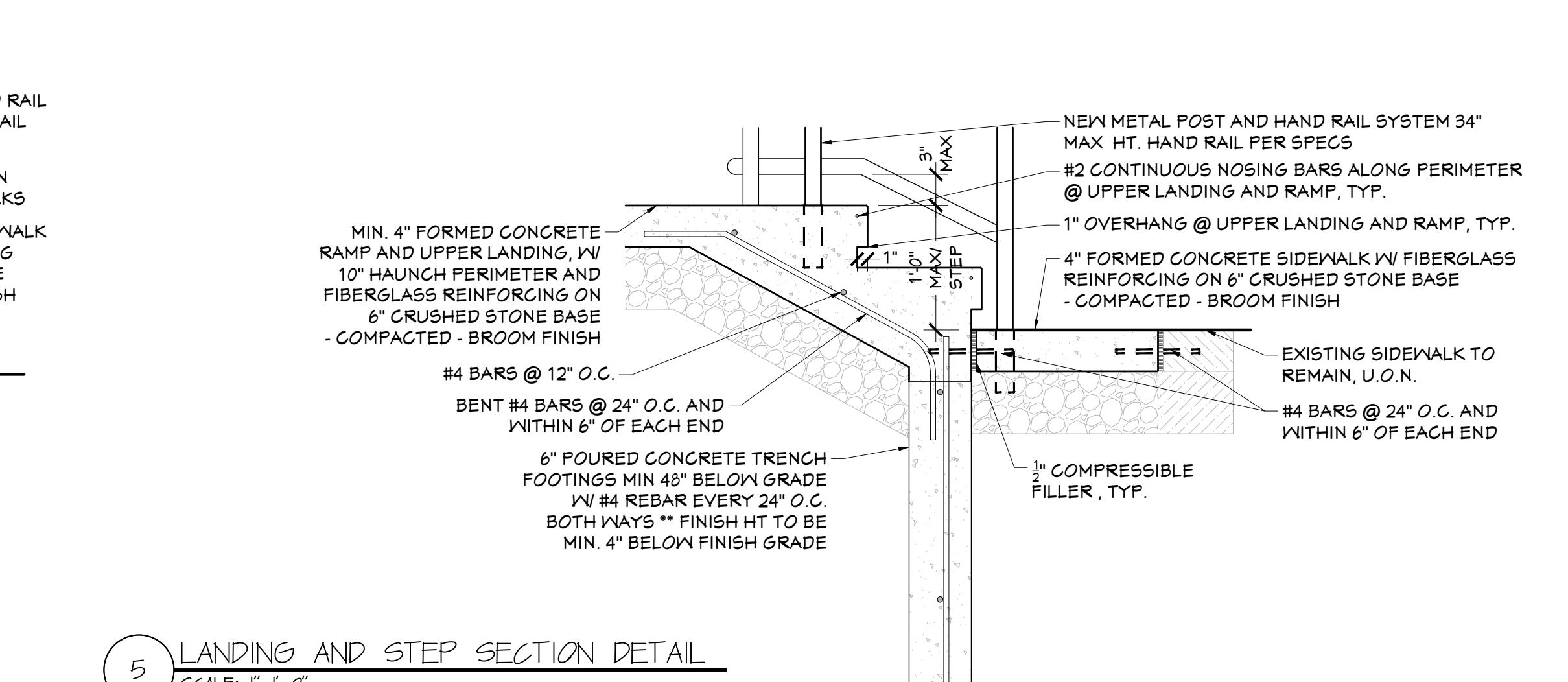
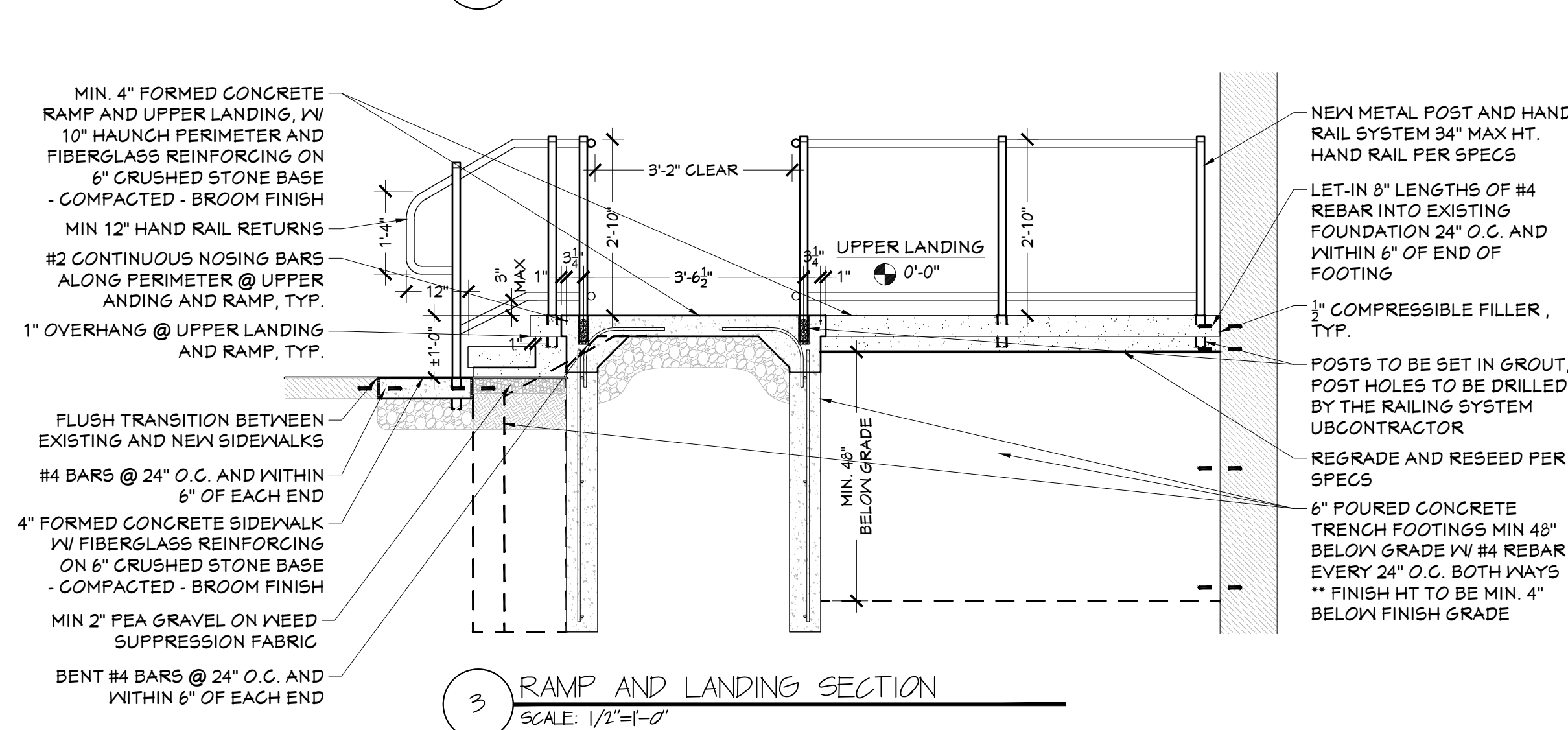
**BUILDING 2, ENTRANCE 17**  
**APARTMENTS 17-20**

**ROCHESTER HOUSING AUTHORITY**  
6 CHRISTOPHER COURT,  
ROCHESTER, NY 14606

DRAWING NO.  <b>A-1.2</b>	drawn by	JLT
	checked	PLM
	proj. capt.	PLM
	date	03-24-25
	proj. no.	---

ISSUE DATE

**03-24-25**





# EXISTING/DEMO		# NEW		KEY NOTES:							
01	EXISTING DOOR TO REMAIN	11	REMOVE EXISTING HEADER AND TRIM EXISTING FLOOR JOISTS TO ALLOW FOR NEW RAISED HEADER	21	PLASTIC LAMINATE COUNTERTOPS W/ OGEE EDGING, TYP., PER SPECS	31	TUB/SHOWER PLUMBING ACCESS PANEL PER SPECS	41	NEW CUSTOM STEEL RAILING ASSEMBLIES - WELD IN PLACE TO EXISTING STRINGERS AND POSTS - PRIME AND PAINT STAIRS, STRINGERS, POSTS AND RAILINGS		
02	EXISTING DOORS TO BE REMOVED	12	NEW (3) 1 1/2" X 1 1/2" RAISED LVL HEADER (1ST FLOOR ONLY) & (3) 1 1/2" X 1 1/2" DROPPED LVL HEADER (2ND FLOOR ONLY) @ EXISTING BEARING WALL FULL BEARING ON DBL. JACK STUDS BOTH SIDES PER SPECS - SEE ALSO SECTION DETAILS A-1/-2	22	WALL MOUNTED PLASTIC LAMINATE BACKSPLASH FROM TOP OF COUNTERTOP TO UNDERSIDE OF UPPER CABINETS - SEE ALSO ELEVATIONS	32	STACKED WASHER DRYER LOCATION - SEE ALSO SPECS	42	ULINE COIN GRIP TREADS AND RISERS - ATTACH WITH MANUFACTURERS ADHESIVE		
03	EXISTING CABINETRY, COUNTERTOPS, APPLIANCES AND/OR SHELVING TO BE REMOVED	13	SEE INTERIOR ELEVATIONS FOR ADDITIONAL DETAILS	23	S.S. PANEL BEHIND RANGE FROM 36" A.F.F. TO UNDERSIDE OF RANGE HOOD	33	SIDE BY SIDE WASHER DRYER LOCATION - SEE ALSO SPECS	43	ULINE COIN GRIP LANDING TILES - ATTACH WITH MANUFACTURERS ADHESIVE		
04	EXISTING WINDOW TO REMAIN	14	INFILL EXISTING OPENING TO MATCH EXISTING WALL ASSEMBLY	24	8 X 8 X 1 1/4" BLIND COUNTERTOP BRACKETS - MAX 30" O.C.	34	WASHING MACHINE GRAY BOX, OVERFLOW PAN AND VENTING BY HVAC ENGINEER	44	3 1/2" X 3 1/2" STEEL POST CAPS WELDED TO EXISTING POSTS, TYP., PRIME AND PAINT		
05	EXISTING GYP. BD. ON WALLS (1ST AND 2ND FLOORS) TO BE REMOVED EXISTING GYP. BD. CEILING (1ST FLOOR ONLY) TO BE REMOVED ** (2ND FLOOR CEILING TO REMAIN, U.O.N.), PATCH AND REPAIR AS NEEDED**	15	TRANSITION STRIP PER SPECS	25	SOFFITS ABOVE ALL KITCHEN CABINETRY W/ 3" EXTENSION BEYOND CABINET DEPTH - 2 X 4 FRAMING @ 16" O.C. W/ 1/2" GYP. BD., TYP.	35	12" HT X 36" DP SOFFIT @ LAUNDRY AREA	45	NEW ATTIC ACCESS HATCH IN 2ND FLOOR COMMON AREA		
06	EXISTING FLOOR FINISH TO BE REMOVED DOWN TO EXISTING SUBFLOOR	16	STANDARD KITCHEN CABINETRY PER SPECS - STYLE AND SIZES AS SHOWN	26	KITCHEN APPLIANCES PER SPECS	36	1ST FLOOR BATHROOMS ONLY: 6" TO 9" HT FRAMED CEILING TO ALLOW FOR 2ND FLOOR WASTE LINES - SOUND BATT. BETWEEN EACH CEILING JOIST		SCHEDULE & DETAIL SYMBOLS		
07	EXISTING SECTION OF WALL TO BE REMOVED	17	ACCESSIBLE KITCHEN CABINETRY PER SPECS - STYLE AND SIZES AS SHOWN	27	18" DEEP X 12" TALL MECHANICAL SOFFITS ALONG EXTERIOR WALL - 2 X 4 FRAMING @ 16" O.C. W/ 1/2" GYP. BD., TYP.	37	OMITTED	##	APARTMENT NUMBER		
08	EXISTING ELECTRICAL AND LIGHTING TO BE REMOVED & REPLACED THRU-OUT	18	ALL UNFINISHED EXPOSED CABINETS TO RECEIVE A MATCHING FINISH PANEL PER SPECS	28	CLOTHING ROD AND 15" SHELF PER SPECS - SINGLE ROD @ 66" A.F.F. - DOUBLE ROD @ 40" & 80" A.F.F.	38	CLOSET ORGANIZER KIT PER SPECS	D##	DOOR SCHEDULE		
09	EXISTING PLUMBING AND PLUMBING FIXTURES TO BE REMOVED & REPLACED THRU-OUT - SEE ELECTRICAL ENGINEERS DRAWINGS	19	MATCHING FILLER STRIP PER SPECS	29	(5) PLYWOOD SHELVES W/ 1 X 3 CLEAT PERIMETER- PRIME AND PAINT, COLOR WHITE	39	COMMON AREA: EXISTING ELECTRICAL TO REMAIN LIGHT FIXTURE TO BE REMOVED & REPLACED	W##	WINDOW SCHEDULE		
10	TEMPORARY 2 X 4 BEARING WALL - REMOVE ONLY AFTER NEW BEARING WALL AND RAISED HEADER HAS BEEN INSTALLED	20	4" VINYL BASE TRIM @ ALL CABINETRY TOE KICKS PER SPECS	30	(2) PLYWOOD SHELVES @ 60" & 80" A.F.F. W/ 1 X 3 CLEAT PERIMETER - PRIME AND PAINT, COLOR WHITE	40	COMMON AREA STAIRCASE - INTERMEDIATE RAILING ASSEMBLIES TO BE REMOVED TO ALLOW FOR RAILING ASSEMBLIES *EXISTING POSTS AND STRINGERS TO REMAIN - PREPARE SURFACE FOR NEW SECTIONS	#	WALL TYPE		

P

L

M

A

Peter L. Morse & Associates

ARCHITECT A. I. A.

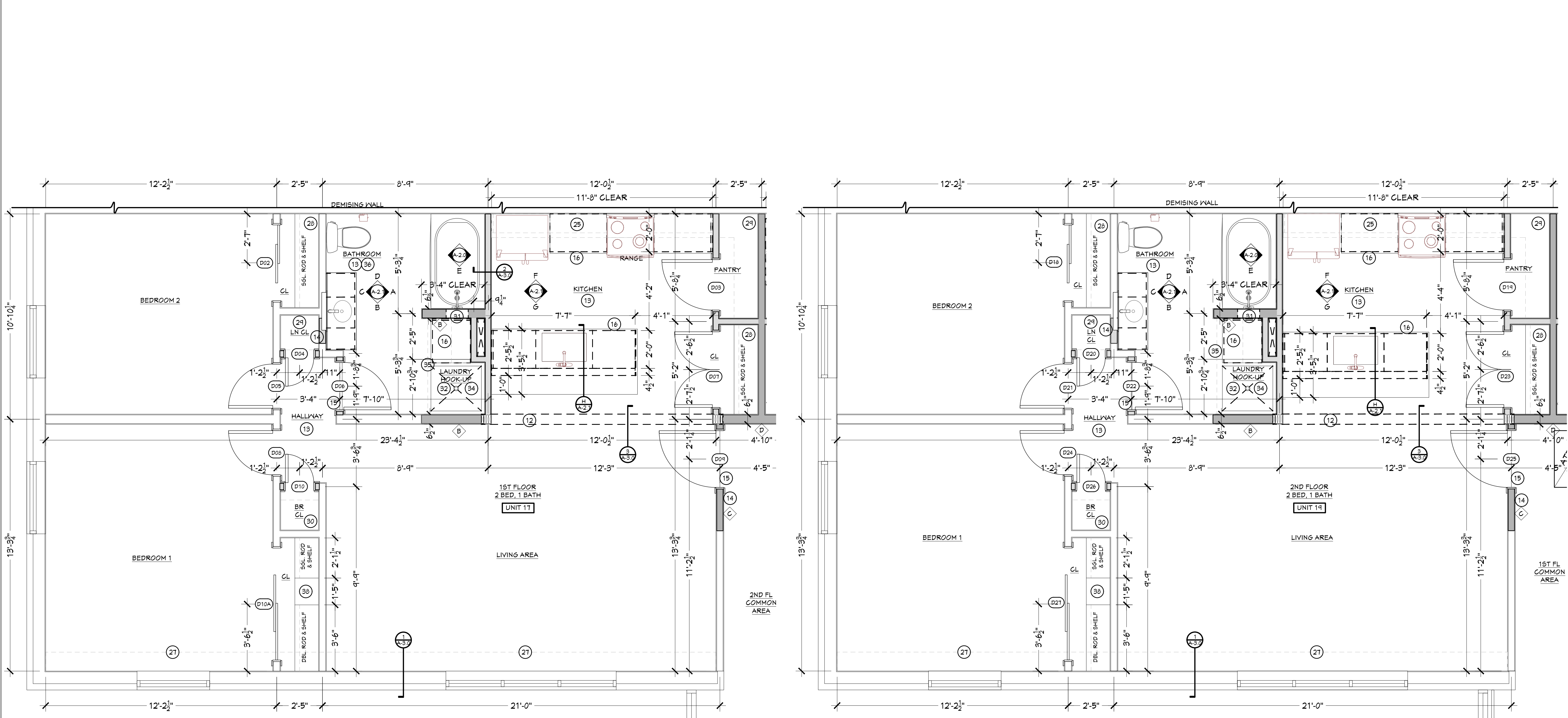
311 Alexander Street

Suite 215

Rochester, N. Y. 14604

Phone 585-530-2230

Fax 585-530-3302



**UNIT 17 FLOOR PLAN**  
SCALE: 3/8"=1'-0"

**UNIT 19 FLOOR PLAN**  
SCALE: 3/8"=1'-0"

P

L

M

A

Peter L. Morse & Associates

ARCHITECT A.I.A.

311 Alexander Street  
Suite 215  
Rochester, N. Y. 14604  
Phone 585-530-2230  
Fax 585-530-3302



THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE ARCHITECTURE AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE ARCHITECTURE. ALL RIGHTS RESERVED. ©

NOTICE: IT IS A VIOLATION OF NEW YORK STATE LAW TO ALTER PLANS, SPECIFICATIONS OR REPORTS TO WHICH THE SEAL OF AN ARCHITECT HAS BEEN APPLIED. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF THE ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE.

REVISIONS			
no.	date	by	description

PROJECT & CLIENT

RENOVATIONS TO

1289-1310  
LEXINGTON AVE.  
ROCHESTER, NY 14606

BUILDING 2, ENTRANCE 17  
APARTMENTS 17-20

ROCHESTER HOUSING AUTHORITY  
6 CHRISTOPHER COURT,  
ROCHESTER, NY 14606

DRAWING TITLE

APARTMENTS 17, 19  
FLOOR PLAN  
W/ KEYNOTES

DRAWING NO.

A-2.0

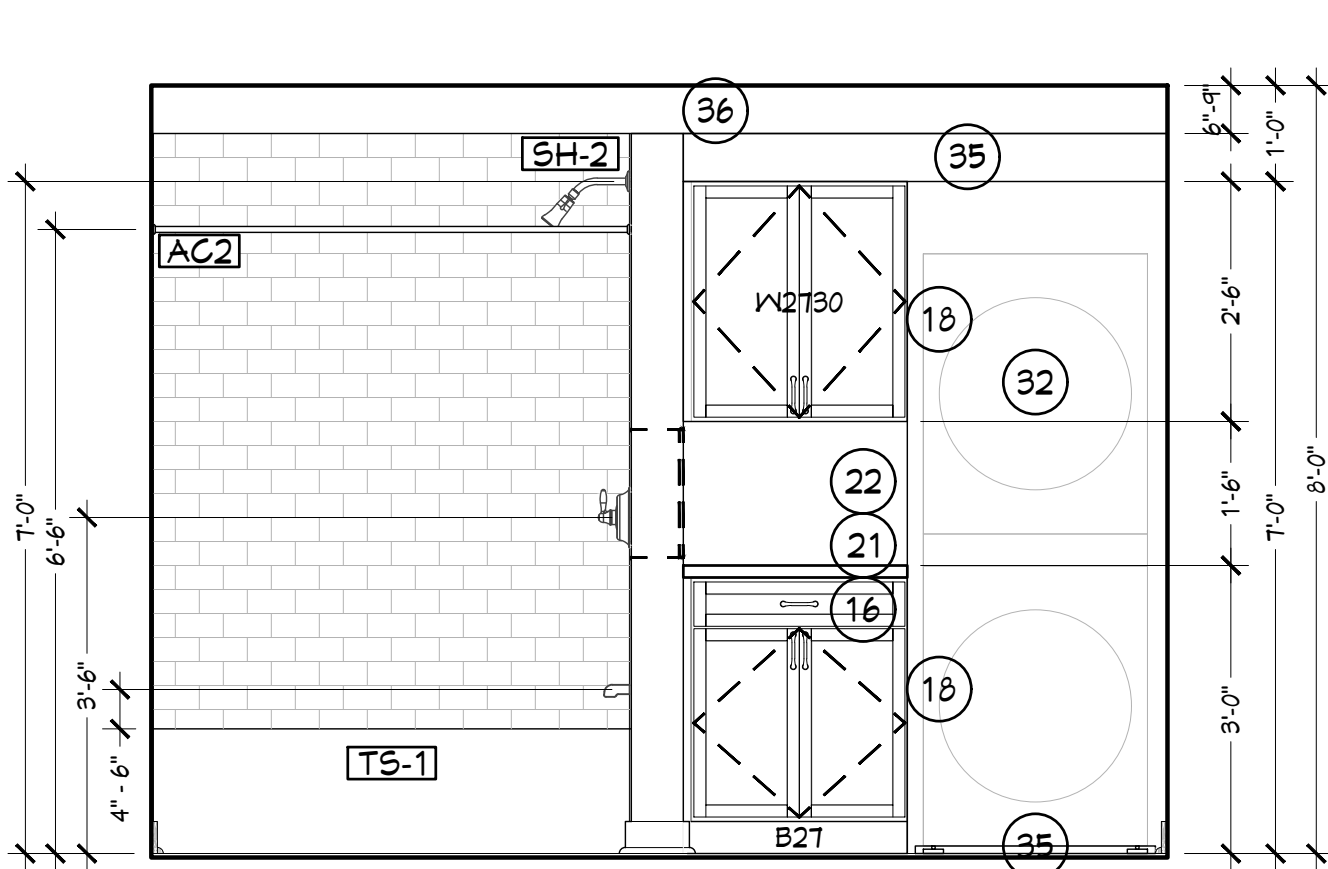
drawn by JLT  
checked PLM  
proj. capt. PLM  
date 03-24-25  
proj. no. ---

ISSUE DATE

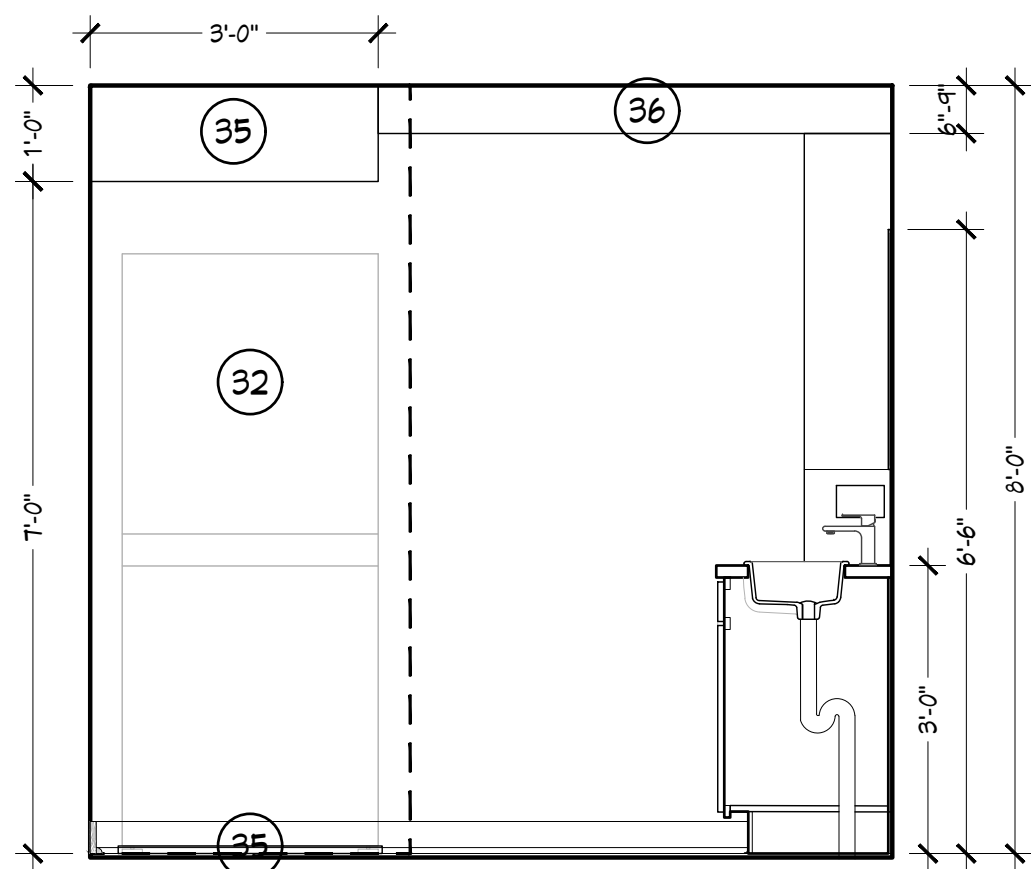
03-24-25



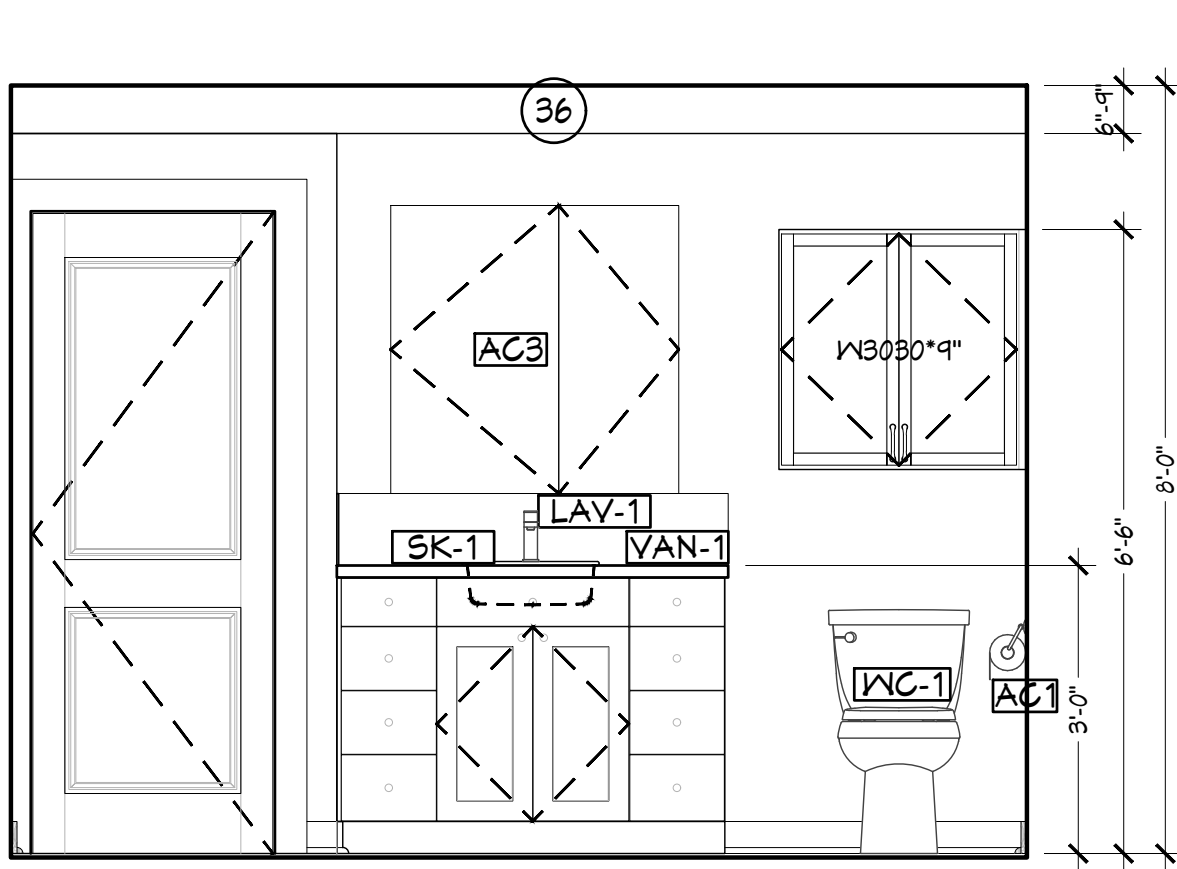
PLUMBING FIXTURE AND ACCESSORIES LEGEND															
#	DESCRIPTION	MANUFACTURER	SERIES	MODEL NUMBER	QTY	FINISH	REMARKS	#	DESCRIPTION	MANUFACTURER	SERIES	MODEL NUMBER	QTY	FINISH	REMARKS
FCT-1	TWO-HANDLE HIGH ARC KITCHEN FAUCET	MOEN	HUTCHINSON	8T2345RS	4	STAINLESS STEEL BRUSHED SATIN		SH-1	SINGLE-HANDLE SHOWER FAUCET W/ HANDHELD SHOWER AND SLIDEBAR (VALVE INCLUDED)	MOEN	EVA/ ECO-PERFORMANCE	T2232EPBN + 3558EPBN + 2520(CC)	1	BRUSHED NICKEL	PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
FCT-2	SINGLE HANDLE CENTERSET BATHROOM FAUCET	DELTA	LARKIN	15840LF-SP	4	SPOT SHIELD BRUSHED NICKEL		SH-2	SINGLE-HANDLE TUB AND SHOWER FAUCET W/ SINGLE FUNCTION SHOWER HEAD	MOEN	EVA/ POSI-TEMP VALVE	T2238EPBN	1	BRUSHED NICKEL	PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
SK-1	SINGLE BOWL/ SINGLE HOLE DROP IN KITCHEN SINK	AMERICAN STANDARD	COLONY	225B.652283C.0T5	3	STAINLESS STEEL	PROVIDE STRAINER AND STOP	AC1	BATHROOM ACCESSORIES (2)ROBE HOOK, (1)TOILET PAPER HOLDER, (1)TOWEL RING	KOHLER	BELLERA	K-2T385-BN, K-2T387-BN, K-2T386-BN	4	BRUSHED NICKEL	PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
SK-2	RECTANGULAR CERAMIC WALL MOUNTED SINK	NAMEEKS	SCARABEO	SCARABEO-5124	1	WHITE	CLICK CLACK POP-UP WASTE WITH OVERFLOW. SKU: S20TT-BRUSHED NICKEL		24" GRAB BAR WITH INTEGRATED TOWEL BAR FROM THE HOME CARE COLLECTION	MOEN	HOME CARE COLLECTION	LR2350DBN	4	BRUSHED NICKEL	PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
DL-1	DURABLE ROUND BRASS SINK P-TRAP	NAMEEKS	REMER	HT32	1	BRUSHED NICKEL		AC2	60" TO 12" FIXED SHOWER CURTAIN ROD W/ HOOKS - 80" A.F.F.	KINGSTON BRASS	EDENSCAPE	KSRE605	4	BRUSHED NICKEL	PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
VAN-1	48" VANITY BASE CABINET WITH 6-DRAWERS	SMART CABINETRY	BELMONT	V56D48B	3	IRON		AC3	36" W X 30" H RECESSED LED MED. CABINET. W/ OUTLETS & USB5	EXBRITE USA	RIM	11MC2030V6LX	3		
ADA-1	34 X 62 VERITEK ALCOVE SHOWER PAN WITH FRONT CENTER DRAIN	SWANSTONE	VERITEK	FBF-3462	1	WHITE		GB18	18" GRAB BAR 1-1/4" W/ CONCEALED MOUNTING	BRADLEY CORP.		832	1		PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
	34 X 62 X 16 TRADITIONAL SUBWAY TILE GLUE UP SHOWER WALL KIT	SWANSTONE	NA	MSMK1463462.221	1	CARRARA	6 - MATCHING CORNER SHELVES	GB24	24" GRAB BAR 1-1/4" W/ CONCEALED MOUNTING	BRADLEY CORP.		832	1		PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
WIC-1	RIGHT HEIGHT ELONGATED 12" ROUGH TOILET	AMERICAN STANDARD	CADET	246T.016.020.	4	WHITE		GB36	36" GRAB BAR 1-1/4" W/ CONCEALED MOUNTING	BRADLEY CORP.		832	1		PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
TS-1	60" X 34" AMERICAST SOAKING BATHTUB	AMERICAN STANDARD	PRINCETON	2394.202.020	1	WHITE		GB42	42" GRAB BAR 1-1/4" W/ CONCEALED MOUNTING	BRADLEY CORP.		832	1		PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
	34 X 62 X 16 TRADITIONAL SUBWAY TILE GLUE UP SHOWER WALL KIT	SWANSTONE	NA	MSMK1463462.221	1	CARRARA	6 - MATCHING CORNER SHELVES	GB48	48" GRAB BAR 1-1/4" W/ CONCEALED MOUNTING	BRADLEY CORP.		832	1		PROVIDE 2 X 4 BLOCKING BETWEEN STUDS



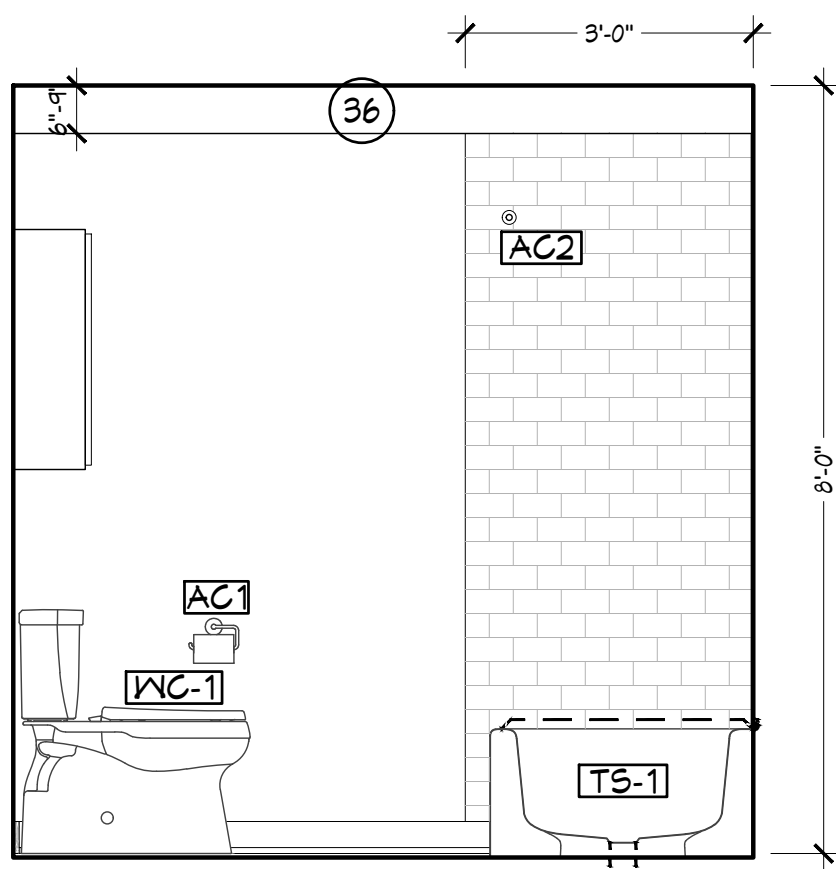
A BATHROOM ELEVATION  
SCALE: 1/2"=1'-0"



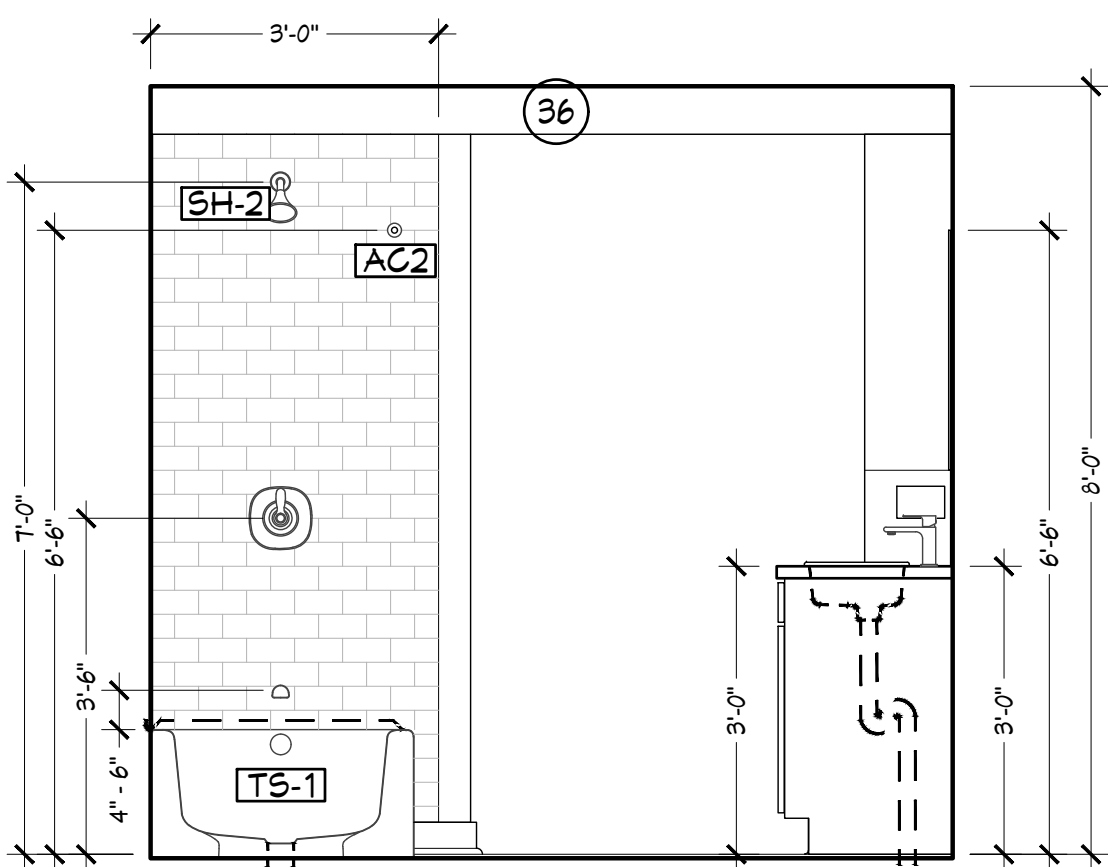
B BATHROOM ELEVATION  
SCALE: 1/2"=1'-0"



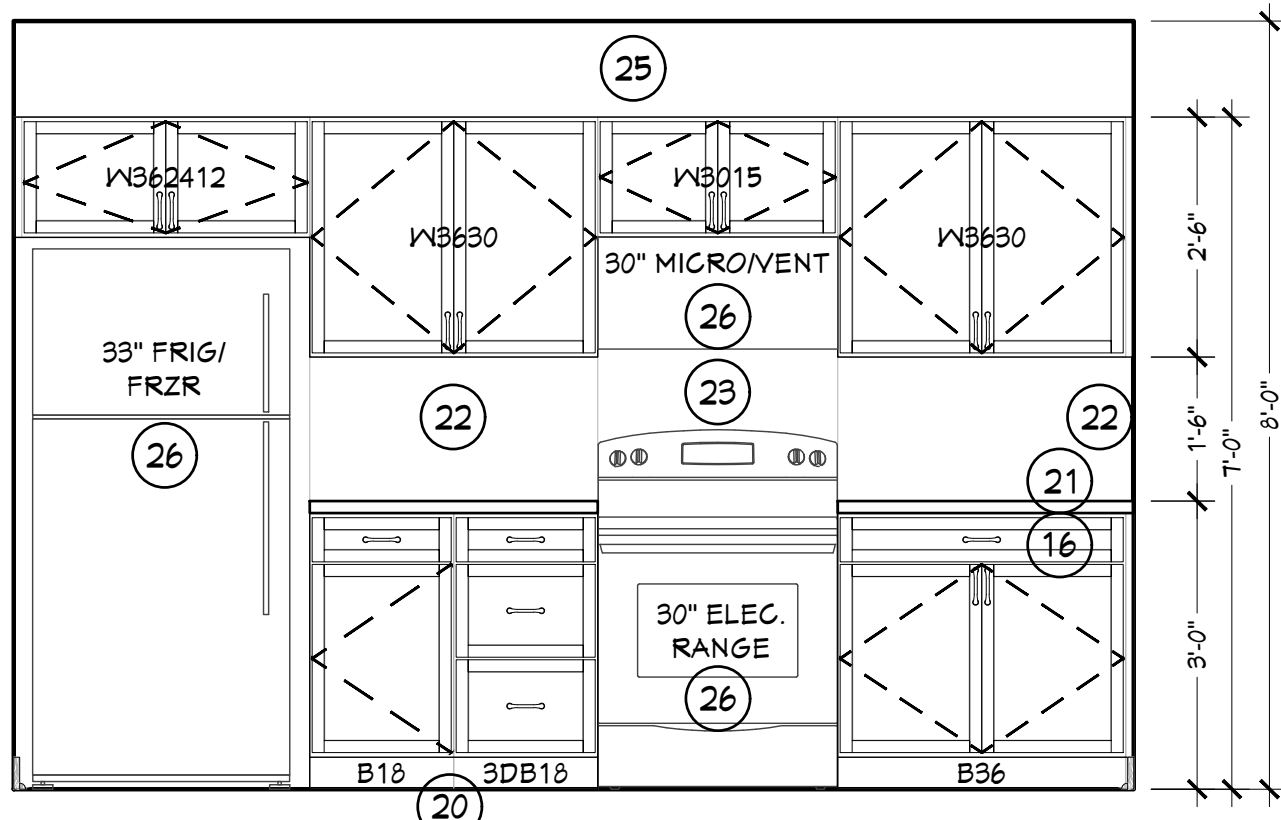
C BATHROOM ELEVATION  
SCALE: 1/2"=1'-0"



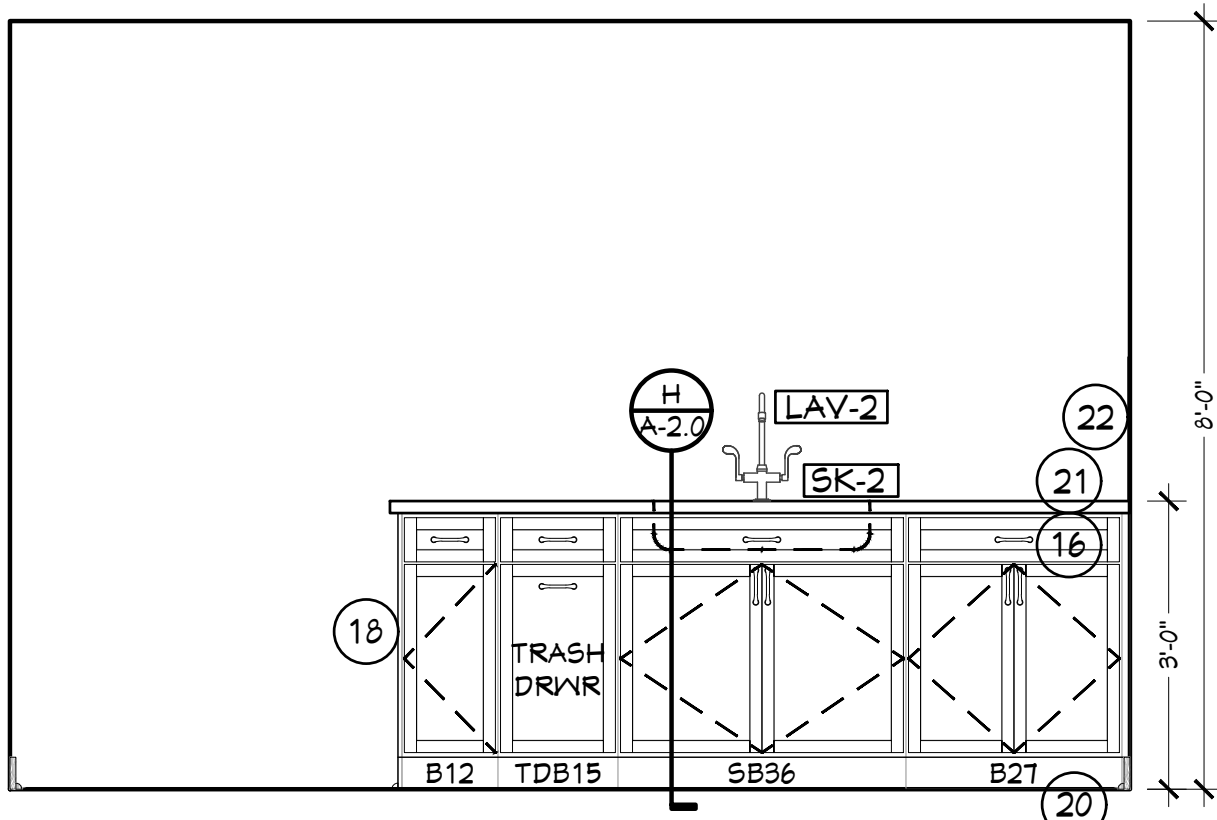
D BATHROOM ELEVATION  
SCALE: 1/2"=1'-0"



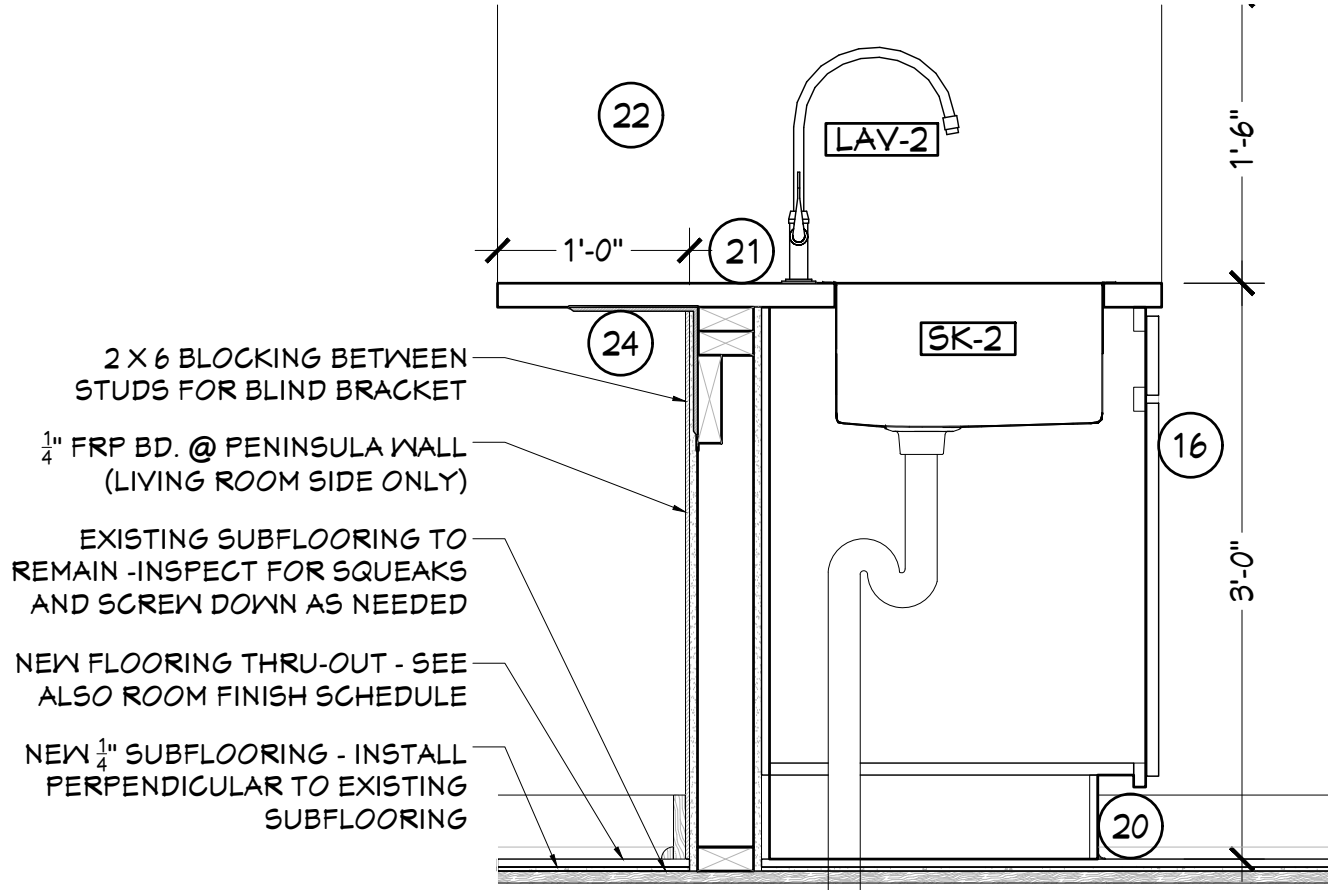
E BATHROOM ELEVATION  
SCALE: 1/2"=1'-0"



F KITCHEN ELEVATION  
SCALE: 1/2"=1'-0"



G KITCHEN ELEVATION  
SCALE: 1/2"=1'-0"



H HALF WALL @ SINK SECTION DETAIL  
SCALE: 1"=1'-0"

P L Peter L.  
M A Morse  
& Associates  
ARCHITECT A.I.A.

311 Alexander Street  
Suite 215  
Rochester, N. Y. 14604  
Phone 585-530-2230  
Fax 585-530-3302



THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE ARCHITECTURE AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE ARCHITECTURE. ALL RIGHTS RESERVED. ©  
NOTICE: IT IS A VIOLATION OF NEW YORK STATE LAW TO ALTER PLANS, SPECIFICATIONS OR REPORTS TO WHICH THE SEAL OF AN ARCHITECT HAS BEEN APPLIED. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF THE ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE.

REVISIONS			
no.	date	by	description
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

PROJECT & CLIENT  
**RENOVATIONS TO**  
**1289-1310**  
**LEXINGTON AVE.**  
ROCHESTER, NY 14606  
**BUILDING 2, ENTRANCE 17**  
**APARTMENTS 17-20**  
ROCHESTER HOUSING AUTHORITY  
6 CHRISTOPHER COURT,  
ROCHESTER, NY 14606

DRAWING TITLE  
**APARTMENTS 17, 19**  
**INTERIOR ELEVATIONS**  
**W/ LEGEND**

DRAWING NO.	drawn by JLT
<b>A-2.1</b>	checked PLM
	proj. capt. PLM
	date 03-24-25
	proj. no. ---

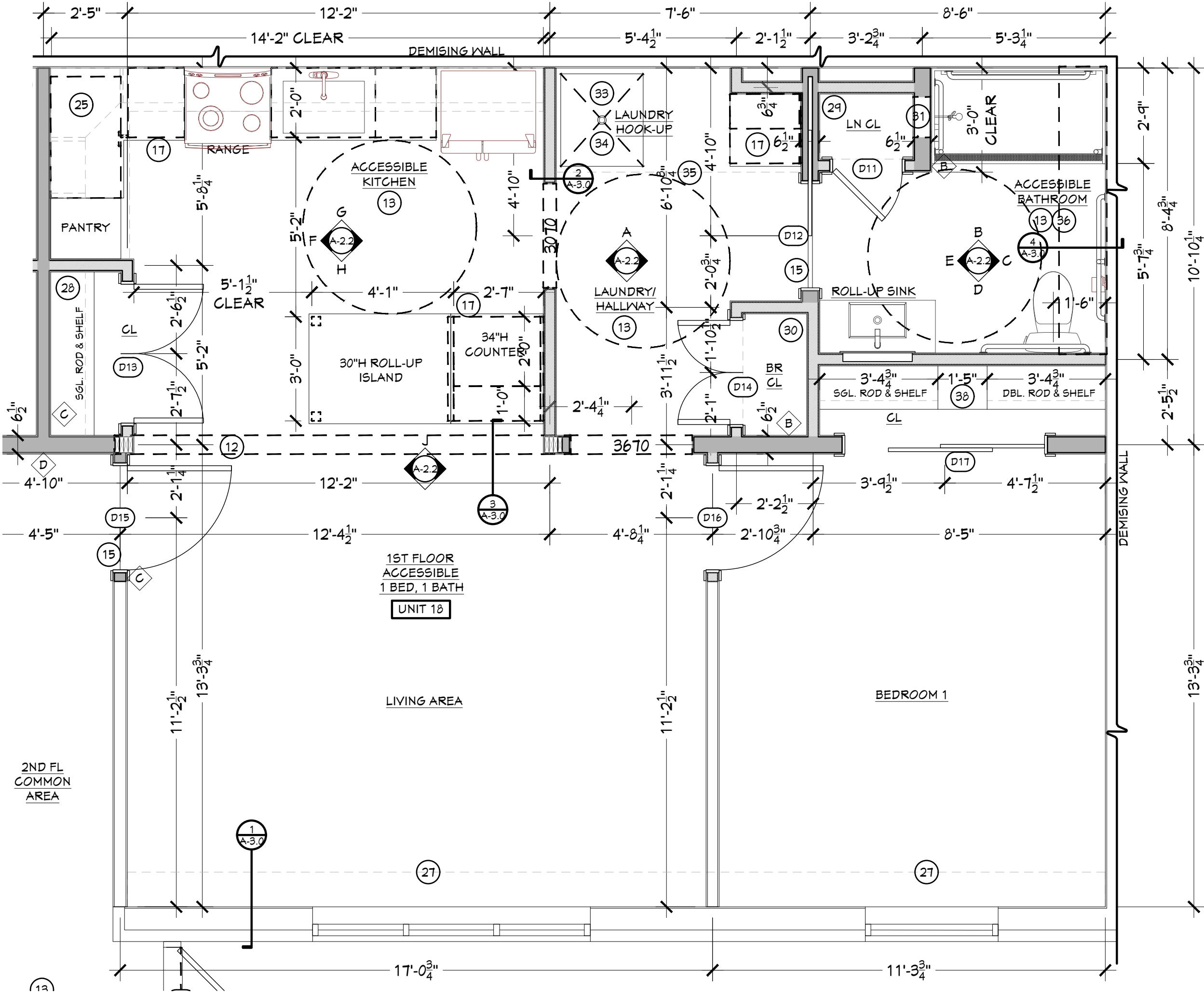
ISSUE DATE  
**03-24-25**



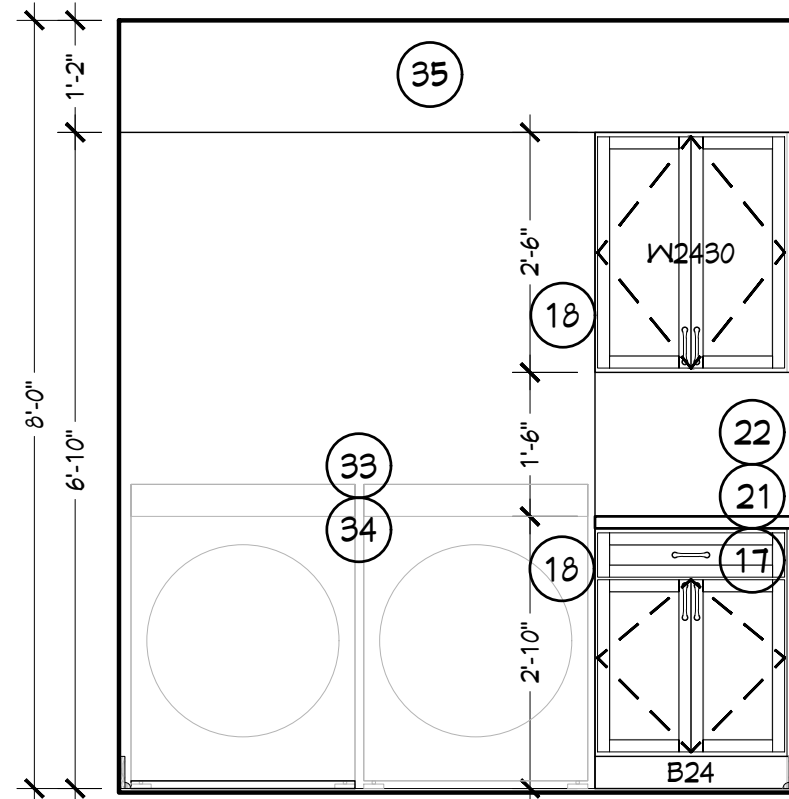
EXISTING/DEMO NEW

KEY NOTES:

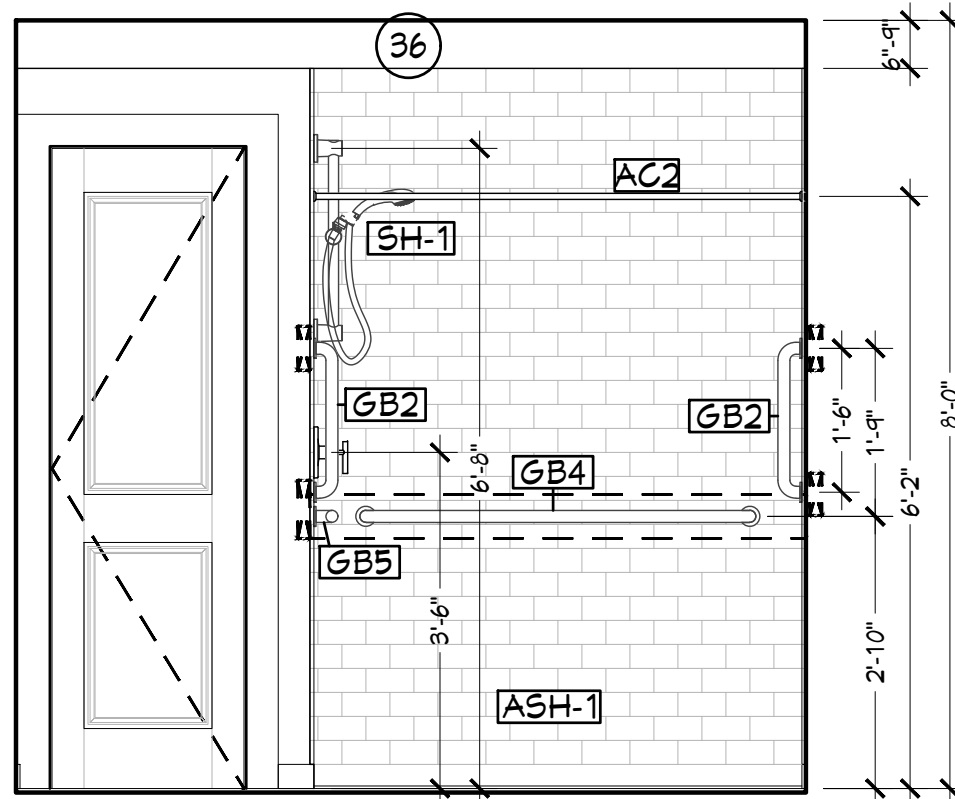
01	EXISTING DOOR TO REMAIN	11	REMOVE EXISTING HEADER AND TRIM EXISTING FLOOR JOISTS TO ALLOW FOR NEW RAISED HEADER	21	PLASTIC LAMINATE COUNTERTOPS W/ OGEE EDGING, TYP., PER SPECS	31	TUB/SHOWER PLUMBING ACCESS PANEL PER SPECS	41	NEW CUSTOM STEEL RAILING ASSEMBLIES - WELD IN PLACE TO EXISTING STRINGERS AND POSTS - PRIME AND PAINT STAIRS, STRINGERS, POSTS AND RAILINGS
02	EXISTING DOORS TO BE REMOVED	12	NEW (3) 1 1/2" X 1 1/2" RAISED LVL HEADER (1ST FLOOR ONLY) & (3) 1 1/2" X 1 1/2" DROPPED LVL HEADER (2ND FLOOR ONLY) @ EXISTING BEARING WALL FULL BEARING ON DBL JACK STUDS BOTH SIDES PER SPECS - SEE ALSO SECTION DETAILS A-1-1	22	WALL MOUNTED PLASTIC LAMINATE BACKSPLASH FROM TOP OF COUNTERTOP TO UNDERSIDE OF UPPER CABINETS - SEE ALSO ELEVATIONS	32	STACKED WASHER DRYER LOCATION - SEE ALSO SPECS	42	ULINE COIN GRIP TREADS AND RISERS - ATTACH WITH MANUFACTURERS ADHESIVE
03	EXISTING CABINETRY, COUNTERTOPS, APPLIANCES AND/OR SHELVING TO BE REMOVED	13	SEE INTERIOR ELEVATIONS FOR ADDITIONAL DETAILS	23	S.S. PANEL BEHIND RANGE FROM 36" A.F.F. TO UNDERSIDE OF RANGE HOOD	33	SIDE BY SIDE WASHER DRYER LOCATION - SEE ALSO SPECS	43	ULINE COIN GRIP LANDING TILES - ATTACH WITH MANUFACTURERS ADHESIVE
04	EXISTING WINDOW TO REMAIN	14	INFILL EXISTING OPENING TO MATCH EXISTING WALL ASSEMBLY	24	8 X 8 X 1/2" BLIND COUNTERTOP BRACKETS - MAX 30" O.C.	34	WASHING MACHINE GRAY BOX, OVERFLOW PAN AND VENTING BY HVAC ENGINEER	44	3 1/2" X 3 1/2" STEEL POST CAPS WELDED TO EXISTING POSTS, TYP., PRIME AND PAINT
05	EXISTING GYP. BD. ON WALLS (1ST AND 2ND FLOORS) TO BE REMOVED EXISTING GYP. BD. CEILING (1ST FLOOR ONLY) TO BE REMOVED ** (2ND FLOOR CEILING TO REMAIN, U.O.N.), PATCH AND REPAIR AS NEEDED**	15	TRANSITION STRIP PER SPECS	25	SOFFITS ABOVE ALL KITCHEN CABINETRY W/ 3" EXTENSION BEYOND CABINET DEPTH - 2 X 4 FRAMING @ 16" O.C. W/ 1/2" GYP. BD., TYP.	35	12" HT X 36" DP SOFFIT @ LAUNDRY AREA	45	NEW ATTIC ACCESS HATCH IN 2ND FLOOR COMMON AREA
06	EXISTING FLOOR FINISH TO BE REMOVED DOWN TO EXISTING SUBFLOOR	16	STANDARD KITCHEN CABINETRY PER SPECS - STYLE AND SIZES AS SHOWN	26	KITCHEN APPLIANCES PER SPECS	36	1ST FLOOR BATHROOMS ONLY: 6" TO 9" HT FRAMED CEILING TO ALLOW FOR 2ND FLOOR WASTE LINES - SOUND BATT. BETWEEN EACH CEILING JOIST	SCHEDULE & DETAIL SYMBOLS	
07	EXISTING SECTION OF WALL TO BE REMOVED	17	ACCESSIBLE KITCHEN CABINETRY PER SPECS - STYLE AND SIZES AS SHOWN	27	18" DEEP X 12" TALL MECHANICAL SOFFITS ALONG EXTERIOR WALL - 2 X 4 FRAMING @ 16" O.C. W/ 1/2" GYP. BD., TYP.	37	OMITTED		
08	EXISTING ELECTRICAL AND LIGHTING TO BE REMOVED & REPLACED THRU-OUT	18	ALL UNFINISHED EXPOSED CABINETS TO RECEIVE A MATCHING FINISH PANEL PER SPECS	28	CLOTHING ROD AND 15" SHELF PER SPECS - SINGLE ROD @ 66" A.F.F. - DOUBLE ROD @ 40" & 80" A.F.F.	38	CLOSET ORGANIZER KIT PER SPECS		
09	EXISTING PLUMBING AND PLUMBING FIXTURES TO BE REMOVED & REPLACED THRU-OUT - SEE ELECTRICAL ENGINEERS DRAWINGS	19	MATCHING FILLER STRIP PER SPECS	29	(5) PLYWOOD SHELVES W/ 1 X 3 CLEAT PERIMETER- PRIME AND PAINT, COLOR WHITE	39	COMMON AREA: EXISTING ELECTRICAL TO REMAIN LIGHT FIXTURE TO BE REMOVED & REPLACED		
10	TEMPORARY 2 X 4 BEARING WALL - REMOVE ONLY AFTER NEW BEARING WALL AND RAISED HEADER HAS BEEN INSTALLED	20	4" VINYL BASE TRIM @ ALL CABINETRY TOE KICKS PER SPECS	30	(2) PLYWOOD SHELVES @ 60" & 80" A.F.F. W/ 1 X 3 CLEAT PERIMETER - PRIME AND PAINT, COLOR WHITE	40	COMMON AREA STAIRCASE - INTERMEDIATE RAILING ASSEMBLIES TO BE REMOVED TO ALLOW FOR RAILING ASSEMBLIES *EXISTING POSTS AND STRINGERS TO REMAIN - PREPARE SURFACE FOR NEW SECTIONS		
								#	APARTMENT NUMBER
								D#	DOOR SCHEDULE
								W#	WINDOW SCHEDULE
								#	WALL TYPE



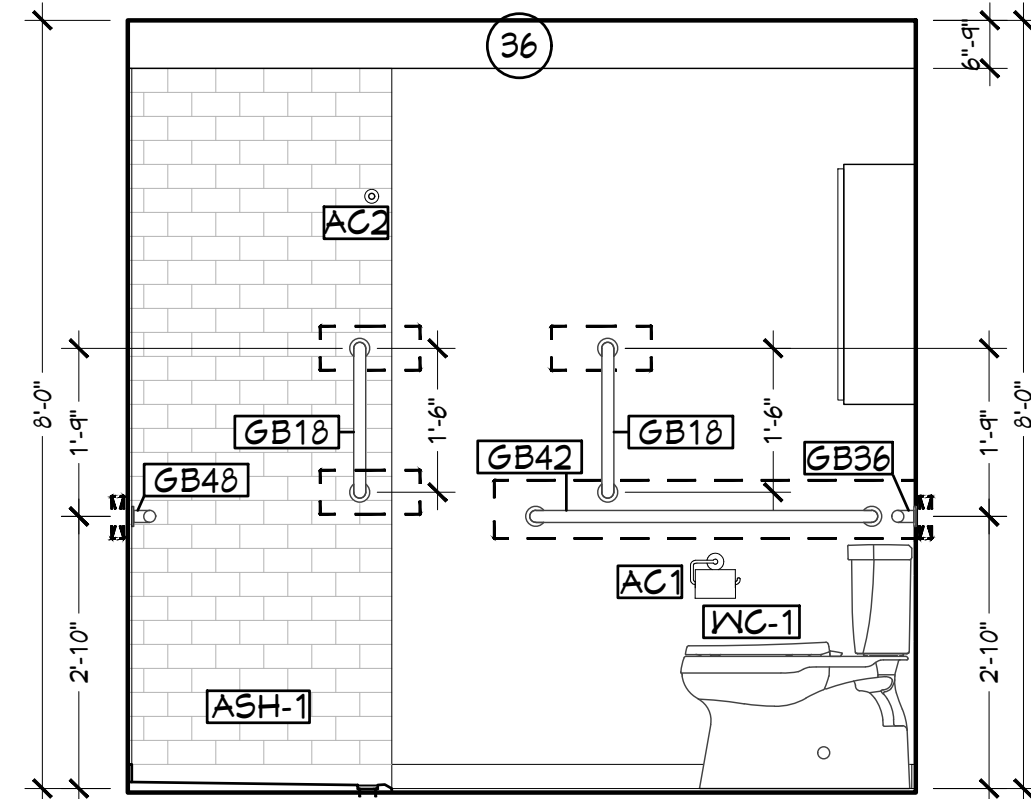
UNIT 17 FLOOR PLAN  
SCALE: 3/8"=1'-0"



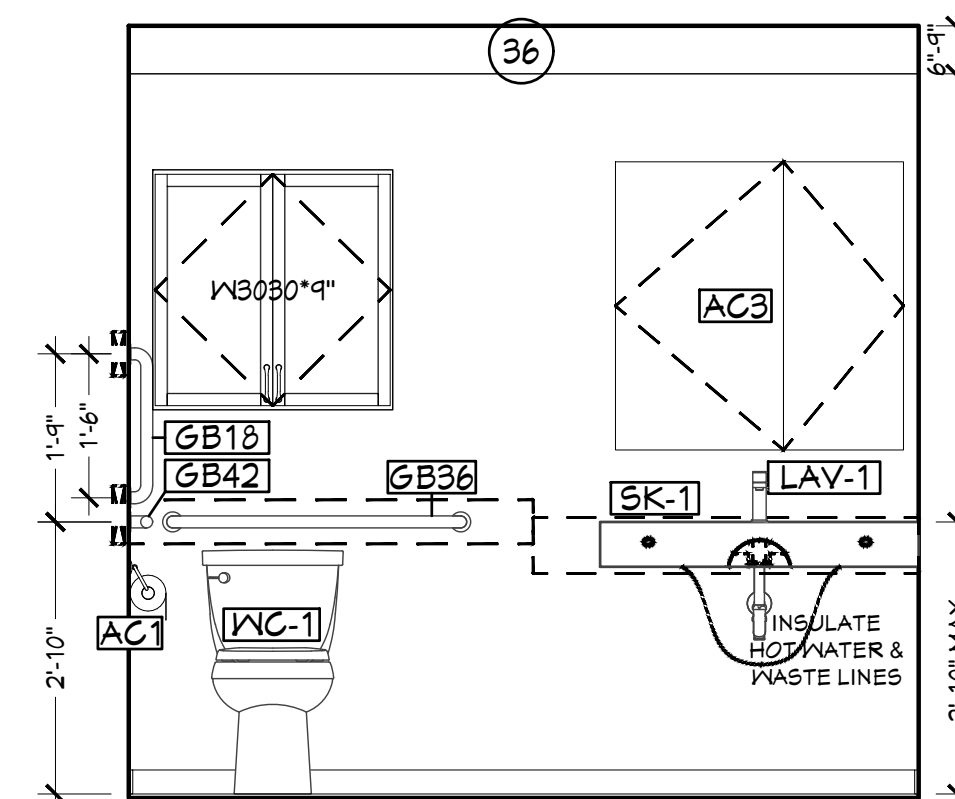
BATHROOM ELEVATION  
SCALE: 1/2"=1'-0"



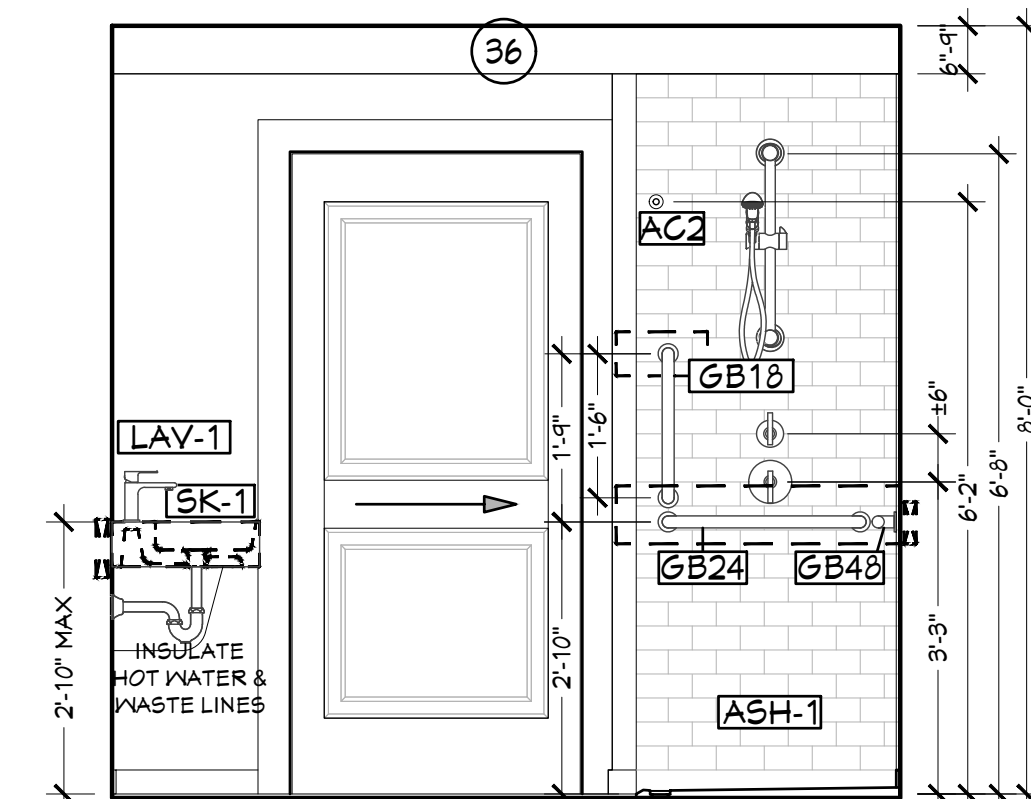
BATHROOM ELEVATION  
SCALE: 1/2"=1'-0"



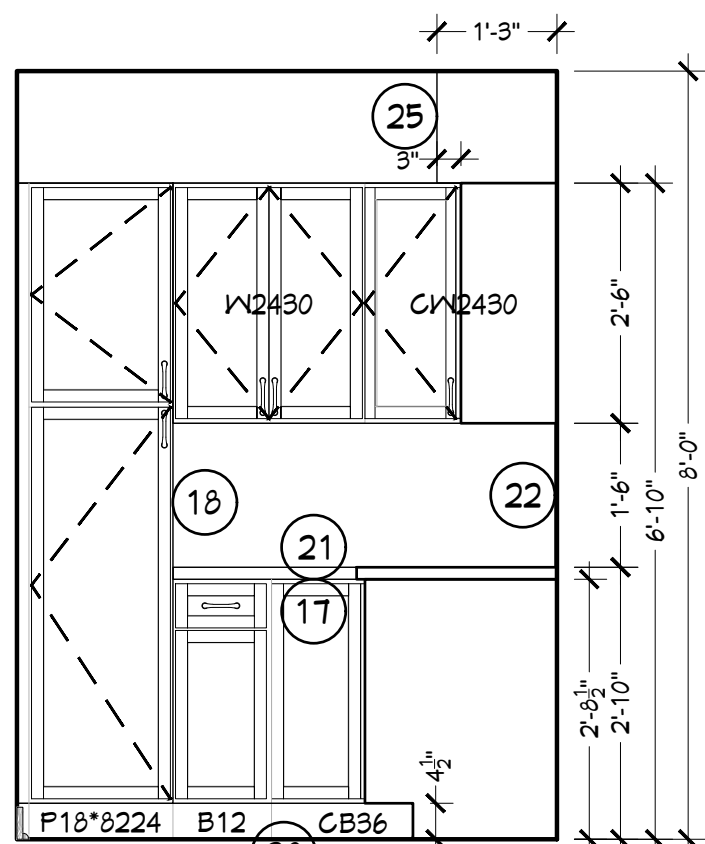
BATHROOM ELEVATION  
SCALE: 1/2"=1'-0"



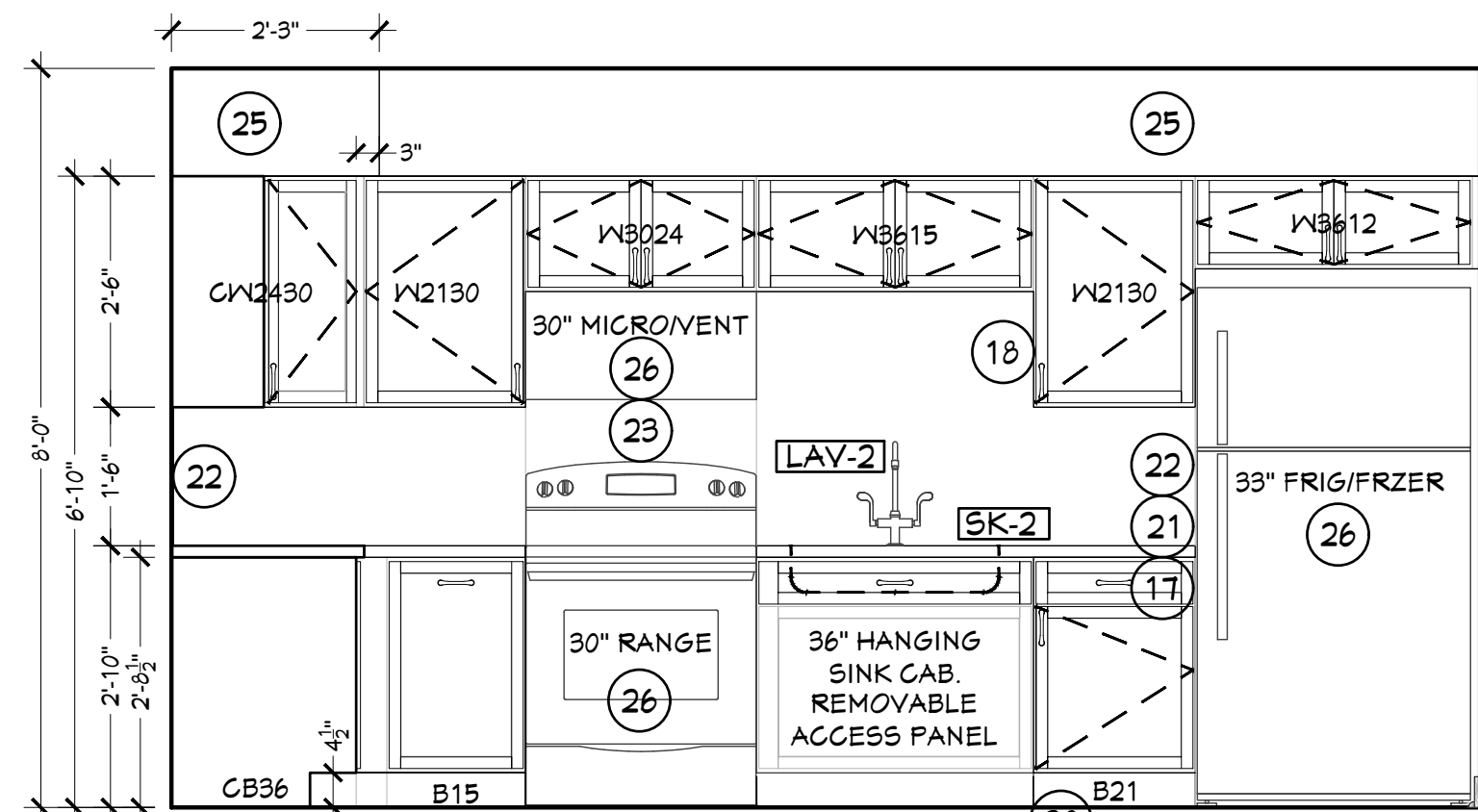
BATHROOM ELEVATION  
SCALE: 1/2"=1'-0"



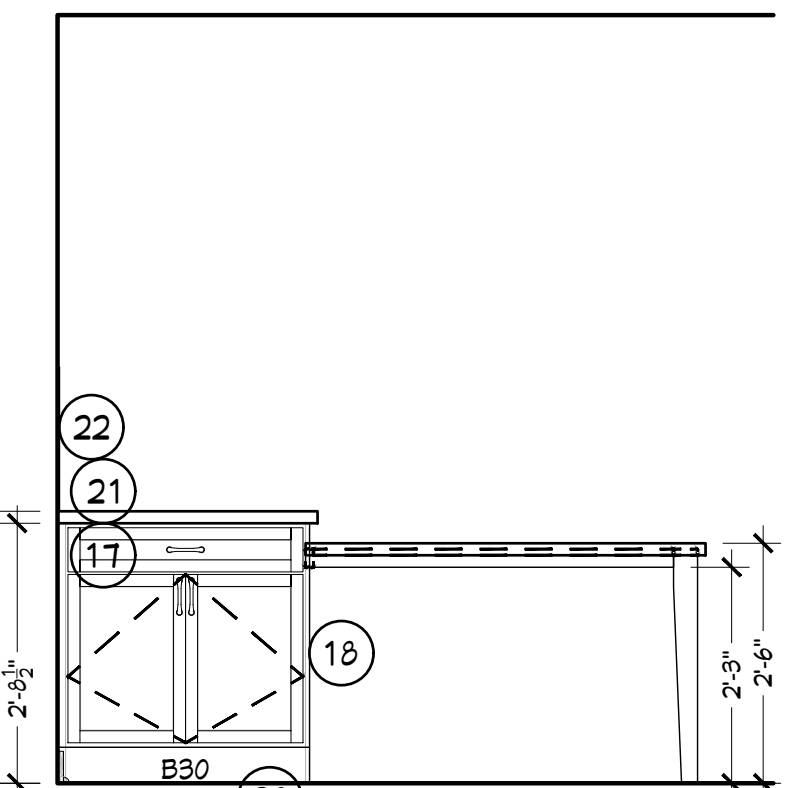
BATHROOM ELEVATION  
SCALE: 1/2"=1'-0"



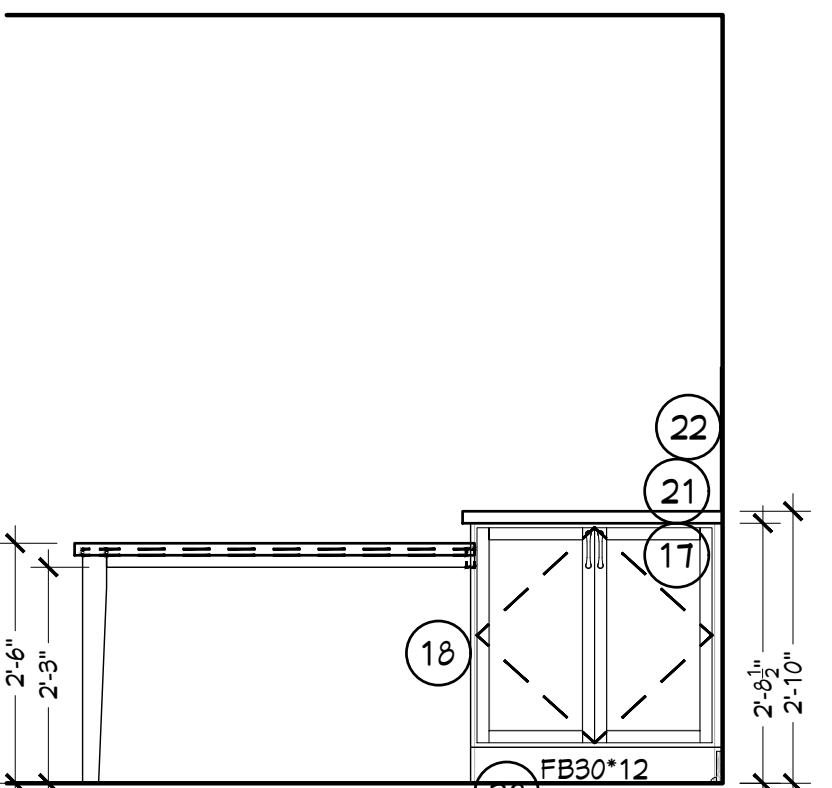
KITCHEN ELEVATION  
SCALE: 1/2"=1'-0"



KITCHEN ELEVATION  
SCALE: 1/2"=1'-0"



KITCHEN ELEVATION  
SCALE: 1/2"=1'-0"



KITCHEN ELEVATION  
SCALE: 1/2"=1'-0"

Peter L. Morse & Associates  
ARCHITECT A.I.A.

311 Alexander Street  
Suite 215  
Rochester, N. Y. 14604  
Phone 585-530-2230  
Fax 585-530-3302



THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE ARCHITECTURE AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE ARCHITECTURE. ALL RIGHTS RESERVED. ©  
NOTICE: IT IS A VIOLATION OF NEW YORK STATE LAW TO ALTER PLANS, SPECIFICATIONS OR REPORTS TO WHICH THE SEAL OF AN ARCHITECT HAS BEEN APPLIED. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF THE ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE.

REVISIONS			
no.	date	by	description

PROJECT & CLIENT  
**RENOVATIONS TO**  
**1289-1310**  
**LEXINGTON AVE.**  
ROCHESTER, NY 14606  
**BUILDING 2, ENTRANCE 17**  
**APARTMENTS 17-20**  
ROCHESTER HOUSING AUTHORITY  
6 CHRISTOPHER COURT,  
ROCHESTER, NY 14606

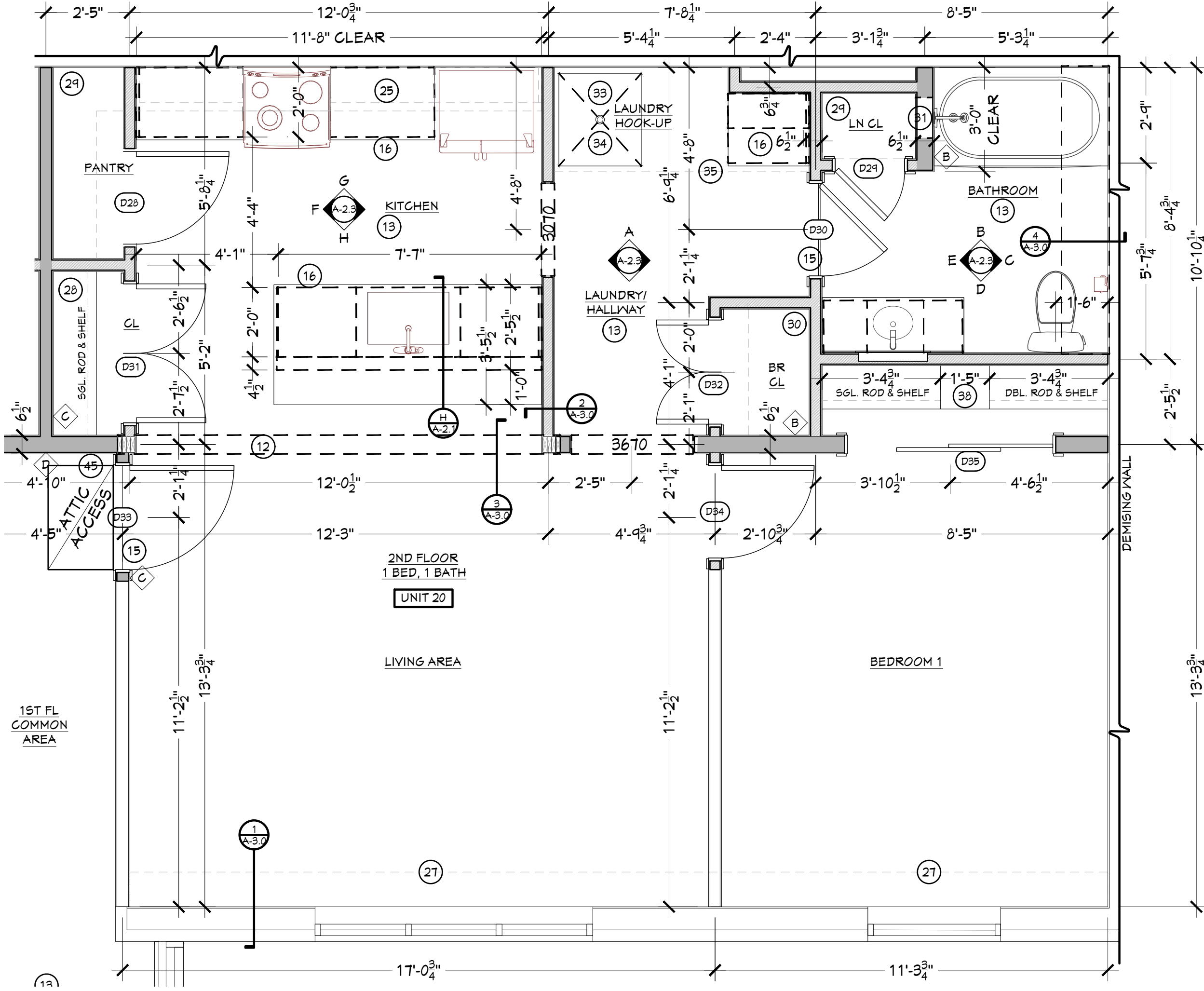
DRAWING TITLE  
**APARTMENT 18**  
**ACCESSIBLE FLOOR PLAN,**  
**INTERIOR ELEVATIONS**  
**W/ KEYNOTES**

DRAWING NO.	drawn by JLT checked PLM proj. capt. PLM date 03-24-25 proj. no. ---
A-2.2	

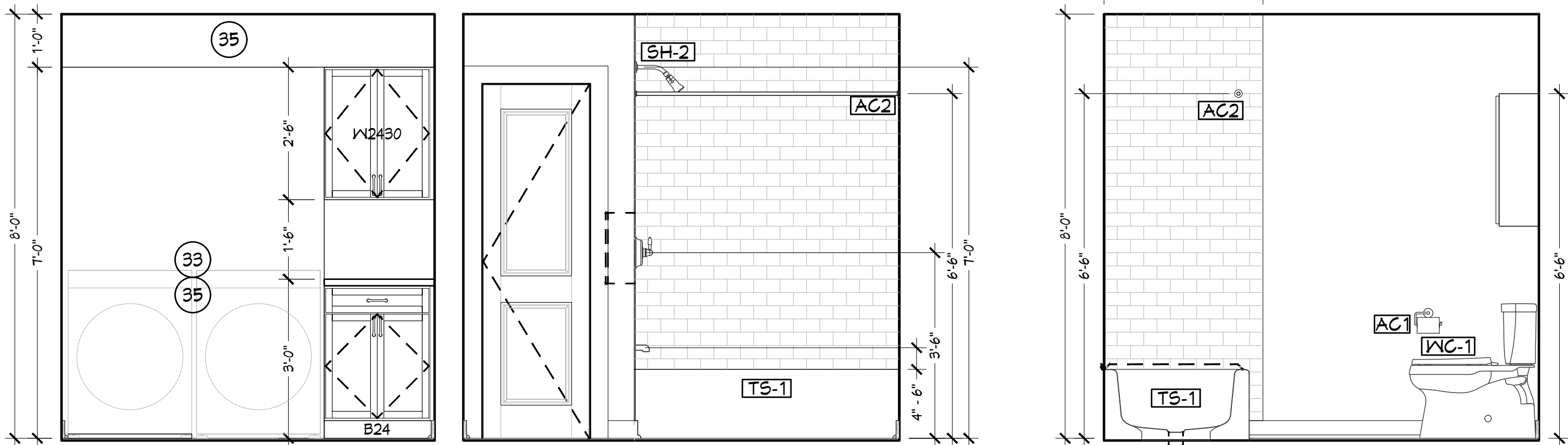
ISSUE DATE  
**03-24-25**



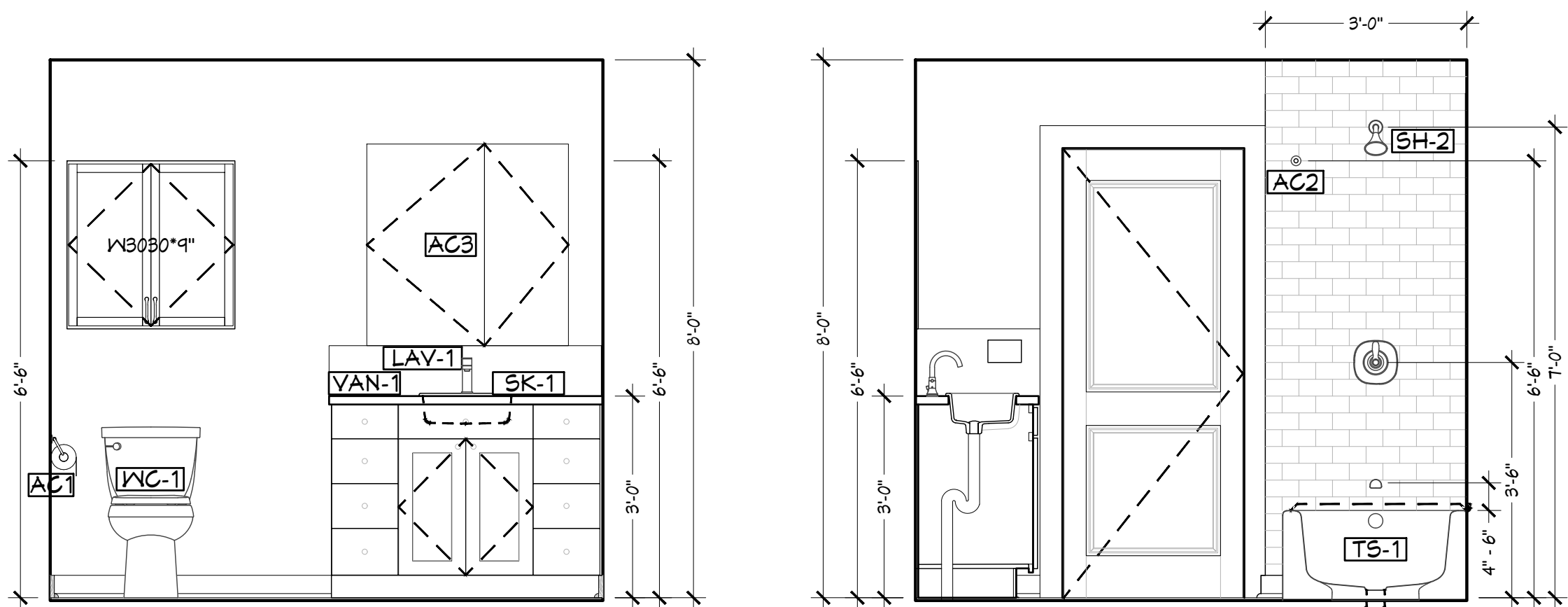
PLUMBING FIXTURE AND ACCESSORIES LEGEND															
#	DESCRIPTION	MANUFACTURER	SERIES	MODEL NUMBER	QTY	FINISH	REMARKS	#	DESCRIPTION	MANUFACTURER	SERIES	MODEL NUMBER	QTY	FINISH	REMARKS
FCT-1	TWO-HANDLE HIGH ARC KITCHEN FAUCET	MOEN	HUTCHINSON	8T2345RS	4	STAINLESS STEEL BRUSHED SATIN		SH-1	SINGLE-HANDLE SHOWER FAUCET W/ HANDHELD SHOWER AND SLIDEBAR (VALVE INCLUDED)	MOEN	EVA/ ECO-PERFORMANCE	T2232EPBN + 3558EPBN + 2520(CC)	1	BRUSHED NICKEL	PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
FCT-2	SINGLE HANDLE CENTERSET BATHROOM FAUCET	DELTA	LARKIN	15840LF-SP	4	SPOT SHIELD BRUSHED NICKEL		SH-2	SINGLE-HANDLE TUB AND SHOWER FAUCET W/ SINGLE FUNCTION SHOWER HEAD	MOEN	EVA/ POSI-TEMP VALVE	T2238EPBN	1	BRUSHED NICKEL	PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
SK-1	SINGLE BOWL/ SINGLE HOLE DROP IN KITCHEN SINK	AMERICAN STANDARD	COLONY	225B.652283C.0T5	3	STAINLESS STEEL	PROVIDE STRAINER AND STOP	AC1	BATHROOM ACCESSORIES (2)ROBE HOOK, (1)TOILET PAPER HOLDER, (1)TOWEL RING	KOHLER	BELLERA	K-27385-BN, K-27387-BN, K-27386-BN	4	BRUSHED NICKEL	PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
SK-2	RECTANGULAR CERAMIC WALL MOUNTED SINK	NAMEEKS	SCARABEO	SCARABEO-5124	1	WHITE	CLICK CLACK POP-UP WASTE WITH OVERFLOW. SKU: S20TT-BRUSHED NICKEL		24" GRAB BAR WITH INTEGRATED TOWEL BAR FROM THE HOME CARE COLLECTION	MOEN	HOME CARE COLLECTION	LR2350DBN	4	BRUSHED NICKEL	PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
DL-1	DURABLE ROUND BRASS SINK P-TRAP	NAMEEKS	REMER	HT32	1	BRUSHED NICKEL		AC2	60" TO 72" FIXED SHOWER CURTAIN ROD W/ HOOKS - 80" A.F.F.	KINGSTON BRASS	EDENSCAPE	KSR605	4	BRUSHED NICKEL	PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
VAN-1	48" VANITY BASE CABINET WITH 6-DRAWERS	SMART CABINETRY	BELMONT	V56D48B	3	IRON		AC3	36" W X 30" H RECESSED LED MED. CABINET. W/ OUTLETS & USB5	EXBRITE USA	RIM	11MC2030V6LX	3		
ADA-1	34 X 62 VERITEK ALCOVE SHOWER PAN WITH FRONT CENTER DRAIN	SWANSTONE	VERITEK	FBF-3462	1	WHITE		GB18	18" GRAB BAR 1-1/4" W/ CONCEALED MOUNTING	BRADLEY CORP.		832	1		PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
	34 X 62 X 16 TRADITIONAL SUBWAY TILE GLUE UP SHOWER WALL KIT	SWANSTONE	NA	MSMK163462.221	1	CARRARA	6 - MATCHING CORNER SHELVES	GB24	24" GRAB BAR 1-1/4" W/ CONCEALED MOUNTING	BRADLEY CORP.		832	1		PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
WC-1	RIGHT HEIGHT ELONGATED 12" ROUGH TOILET	AMERICAN STANDARD	CADET	246T.016.020.	4	WHITE		GB36	36" GRAB BAR 1-1/4" W/ CONCEALED MOUNTING	BRADLEY CORP.		832	1		PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
TS-1	60" X 34" AMERICAST SOAKING BATHTUB	AMERICAN STANDARD	PRINCETON	2394.202.020	1	WHITE		GB42	42" GRAB BAR 1-1/4" W/ CONCEALED MOUNTING	BRADLEY CORP.		832	1		PROVIDE 2 X 4 BLOCKING BETWEEN STUDS
	34 X 62 X 16 TRADITIONAL SUBWAY TILE GLUE UP SHOWER WALL KIT	SWANSTONE	NA	MSMK163462.221	1	CARRARA	6 - MATCHING CORNER SHELVES	GB48	48" GRAB BAR 1-1/4" W/ CONCEALED MOUNTING	BRADLEY CORP.		832	1		PROVIDE 2 X 4 BLOCKING BETWEEN STUDS



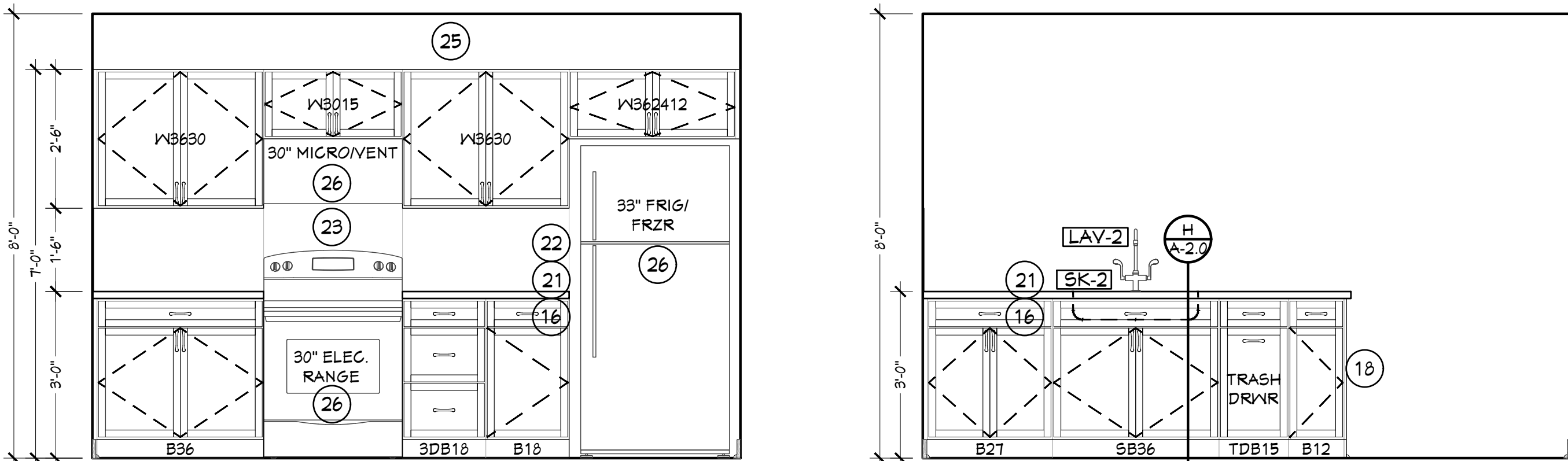
UNIT 17 FLOOR PLAN  
SCALE: 3/8"=1'-0"  
NORTH



BATHROOM ELEVATION  
SCALE: 1/2"=1'-0"  
BATHROOM ELEVATION  
SCALE: 1/2"=1'-0"  
BATHROOM ELEVATION  
SCALE: 1/2"=1'-0"



BATHROOM ELEVATION  
SCALE: 1/2"=1'-0"  
BATHROOM ELEVATION  
SCALE: 1/2"=1'-0"



KITCHEN ELEVATION  
SCALE: 1/2"=1'-0"  
KITCHEN ELEVATION  
SCALE: 1/2"=1'-0"

Peter L. Morse & Associates  
ARCHITECT A.I.A.

311 Alexander Street  
Suite 215  
Rochester, N. Y. 14604  
Phone 585-530-2230  
Fax 585-530-3302



THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE ARCHITECTURE AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE ARCHITECTURE. ALL RIGHTS RESERVED. ©  
NOTICE: IT IS A VIOLATION OF NEW YORK STATE LAW TO ALTER PLANS, SPECIFICATIONS OR REPORTS TO WHICH THE SEAL OF AN ARCHITECT HAS BEEN APPLIED. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF THE ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE.

REVISIONS			
no.	date	by	description

PROJECT & CLIENT  
**RENOVATIONS TO**  
**1289-1310**  
**LEXINGTON AVE.**  
ROCHESTER, NY 14606  
**BUILDING 2, ENTRANCE 17**  
**APARTMENTS 17-20**  
ROCHESTER HOUSING AUTHORITY  
6 CHRISTOPHER COURT,  
ROCHESTER, NY 14606

DRAWING TITLE  
**APARTMENT 20**  
**FLOOR PLAN**  
**INTERIOR ELEVATIONS**  
**W/ LEGEND**

DRAWING NO.		drawn by	JLT
<b>A-2.3</b>		checked	PLM
		proj. capt.	PLM
		date	03-24-25
		proj. no.	---

ISSUE DATE  
**03-24-25**





THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE ARCHITECTURE AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE ARCHITECTURE. ALL RIGHTS RESERVED. ©

NOTICE: IT IS A VIOLATION OF NEW YORK STATE LAW TO ALTER PLANS, SPECIFICATIONS OR REPORTS TO WHICH THE SEAL OF AN ARCHITECT HAS BEEN APPLIED. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF THE ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE.

REVISIONS			
no.	date	by	description

PROJECT & CLIENT

**RENOVATIONS TO**

**1289-1310**  
**LEXINGTON AVE.**  
ROCHESTER, NY 14606

**BUILDING 2, ENTRANCE 17**  
**APARTMENTS 17-20**

ROCHESTER HOUSING AUTHORITY  
6 CHRISTOPHER COURT,  
ROCHESTER, NY 14606

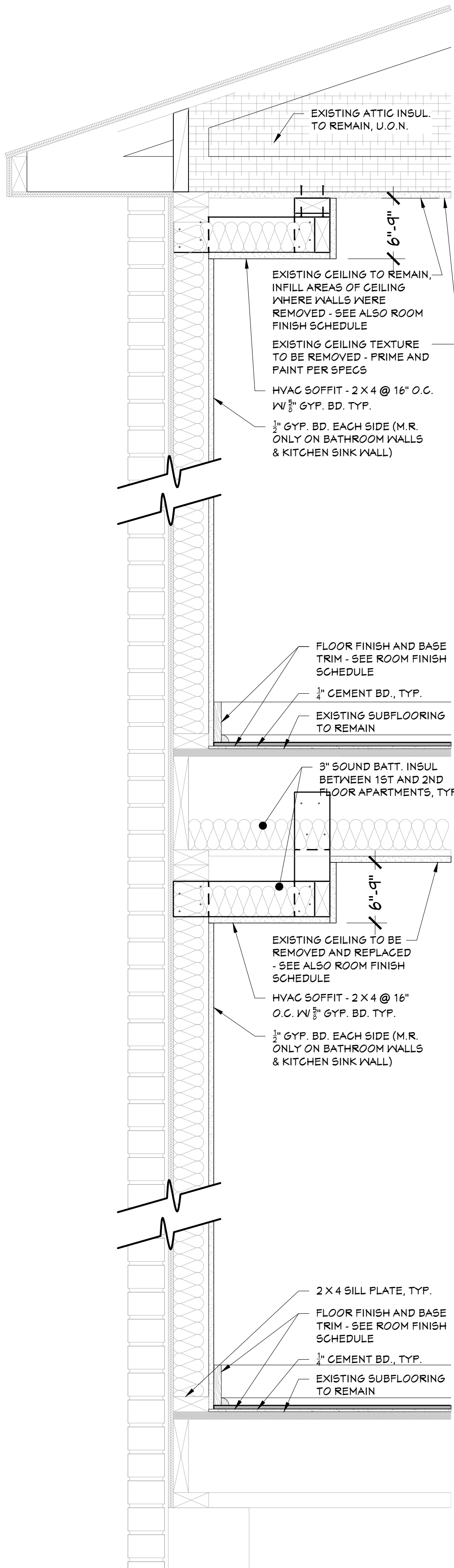
DRAWING TITLE

**WALL SECTIONS,  
FRAMING DETAILS AND  
WALL TYPES**

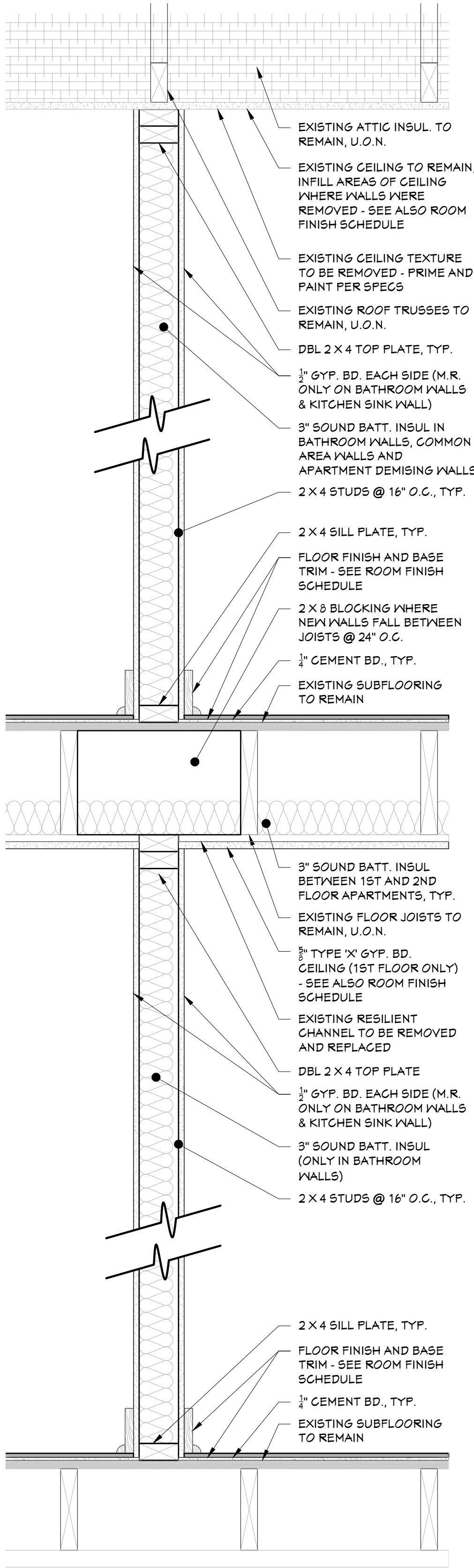
DRAWING NO.	drawn by	JLT
<b>A-3.0</b>	checked	PLM
	proj. capt.	PLM
	date	03-24-25
	proj. no.	---

ISSUE DATE

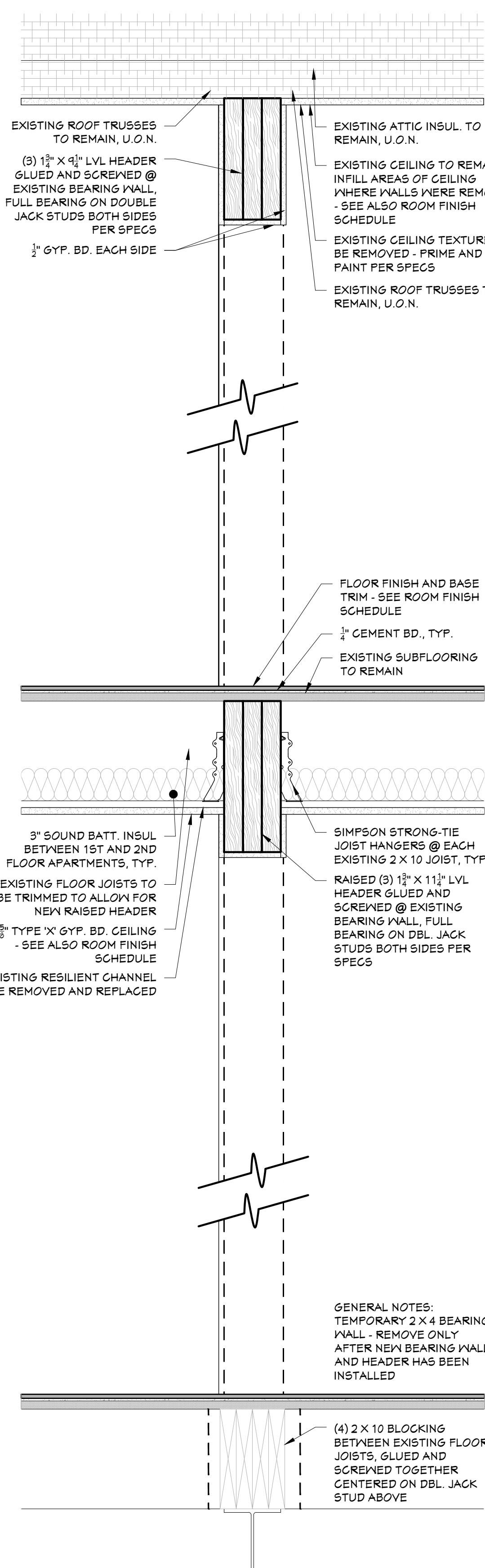
**03-24-25**



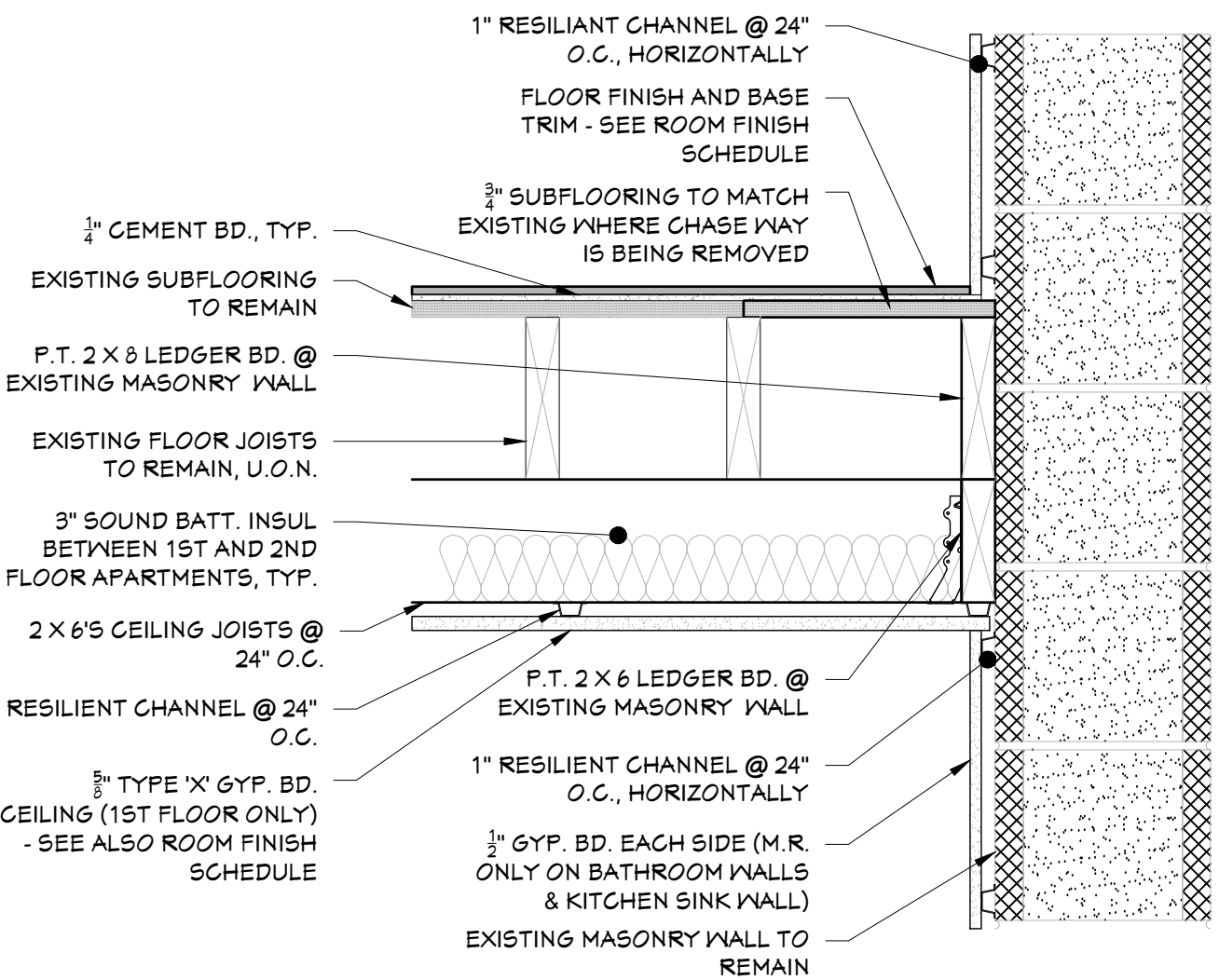
1 WALL SECTION  
SCALE: 1-1/2"=1'-0"



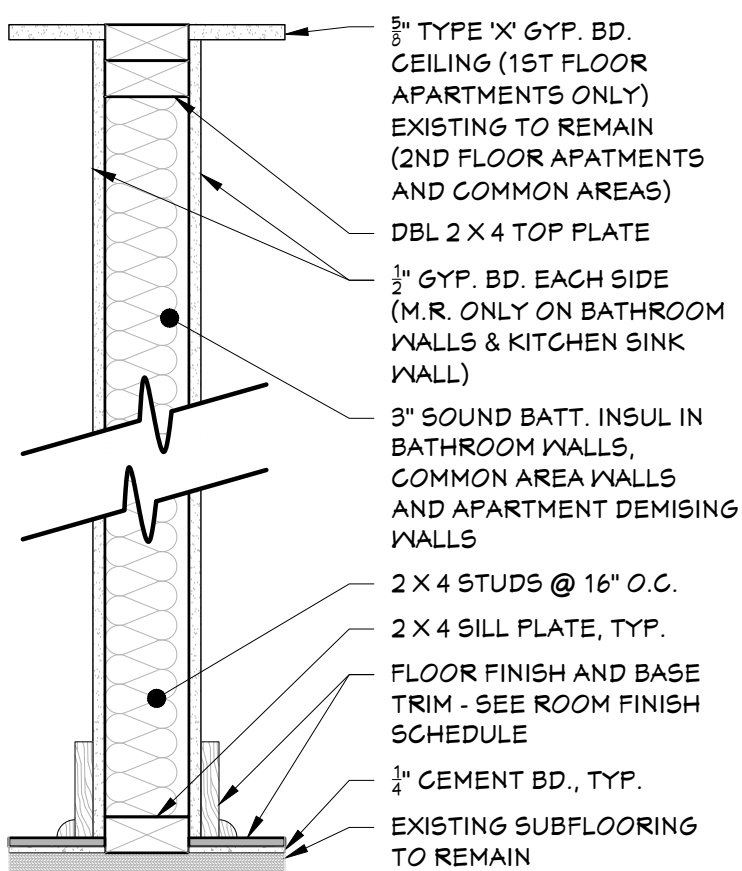
2 WALL SECTION  
SCALE: 1-1/2"=1'-0"



3 WALL SECTION  
SCALE: 1-1/2"=1'-0"

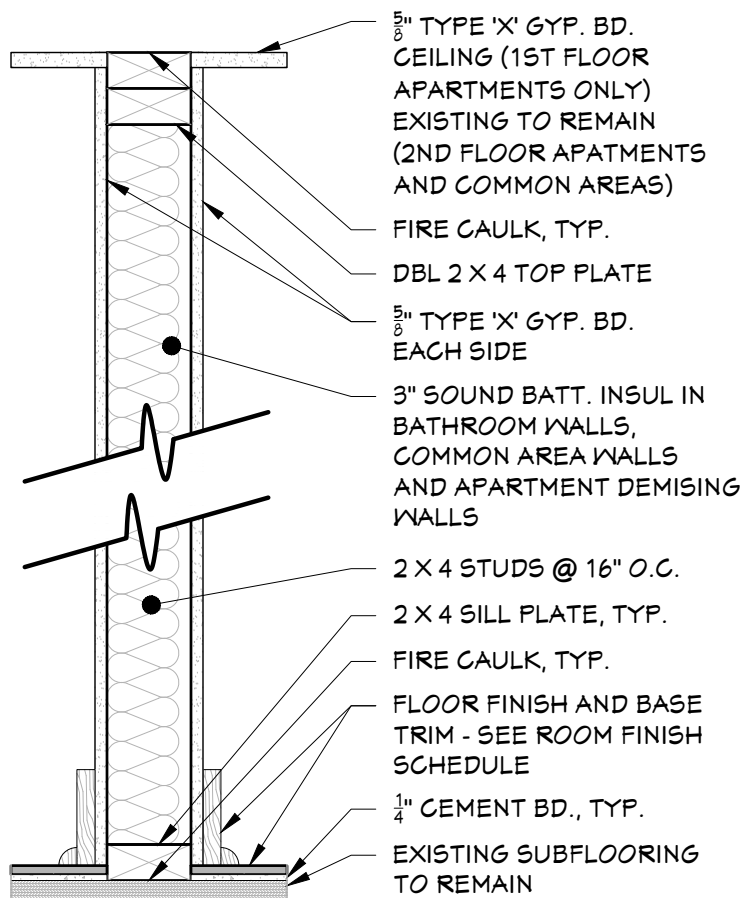


4 FRAMING DETAIL  
SCALE: 1-1/2"=1'-0"

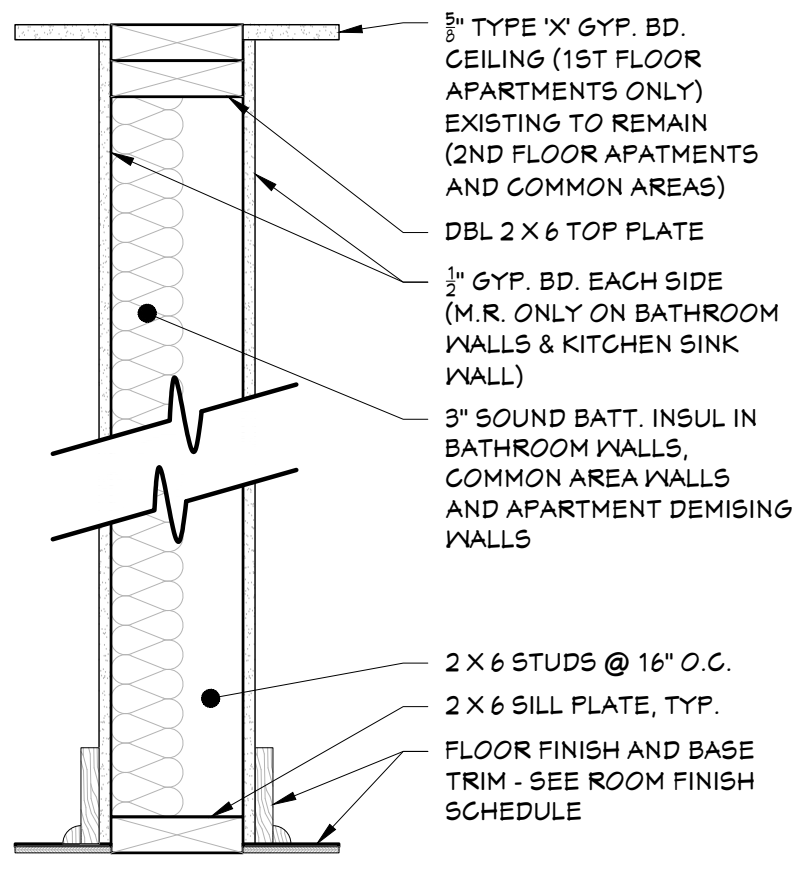


A TYPICAL 2 X 4 INTERIOR WALL PARTITION

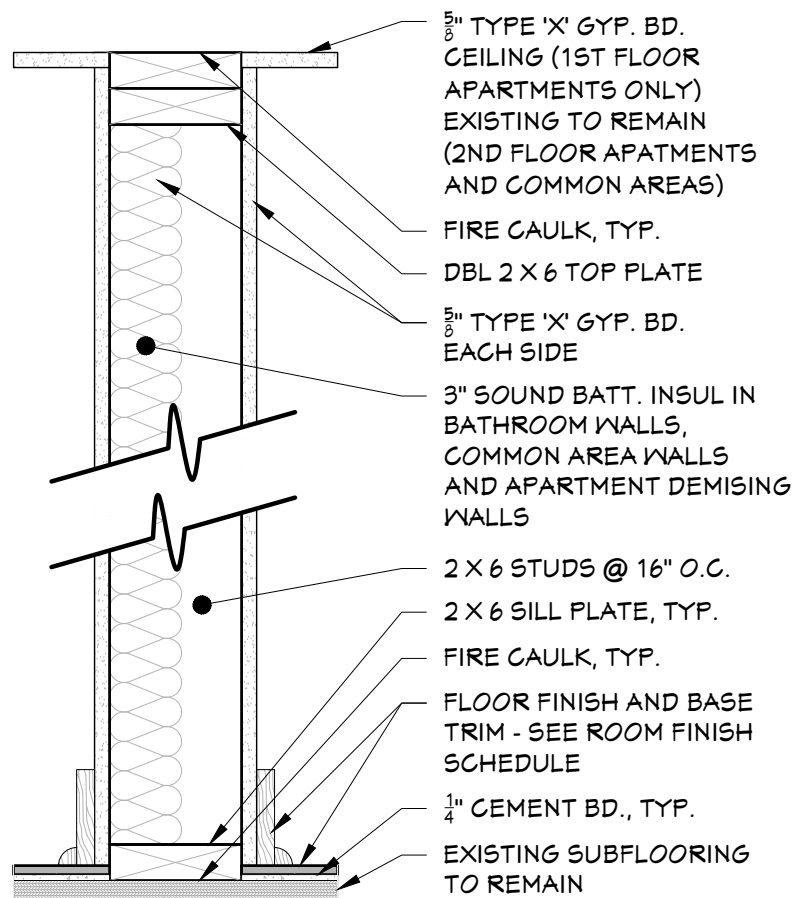
\*ALL INTERIOR WALLS TO BE TYPE "A" UNLESS OTHERWISE NOTED



C 2 X 4 1-HR RATED PARTITION



B 2 X 6 INTERIOR WALL PARTITION



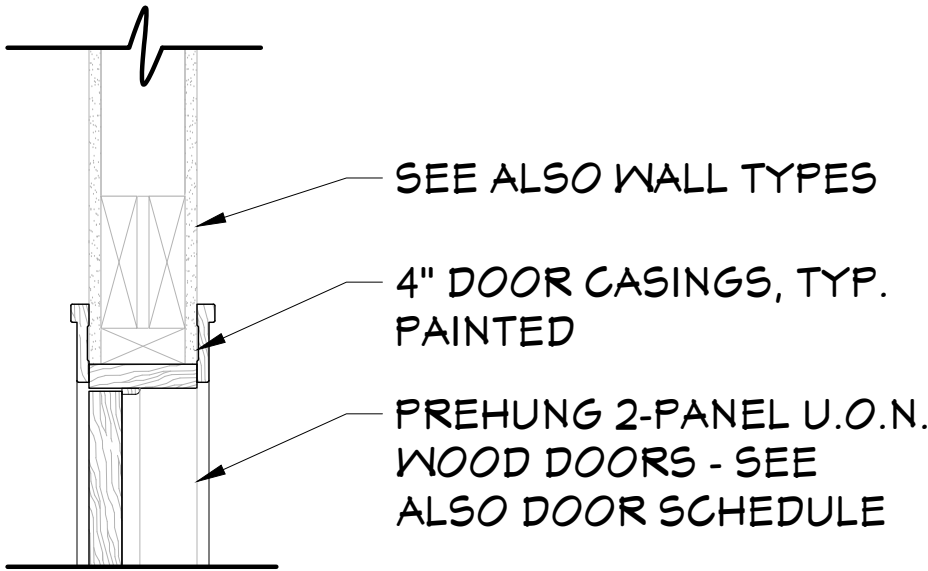
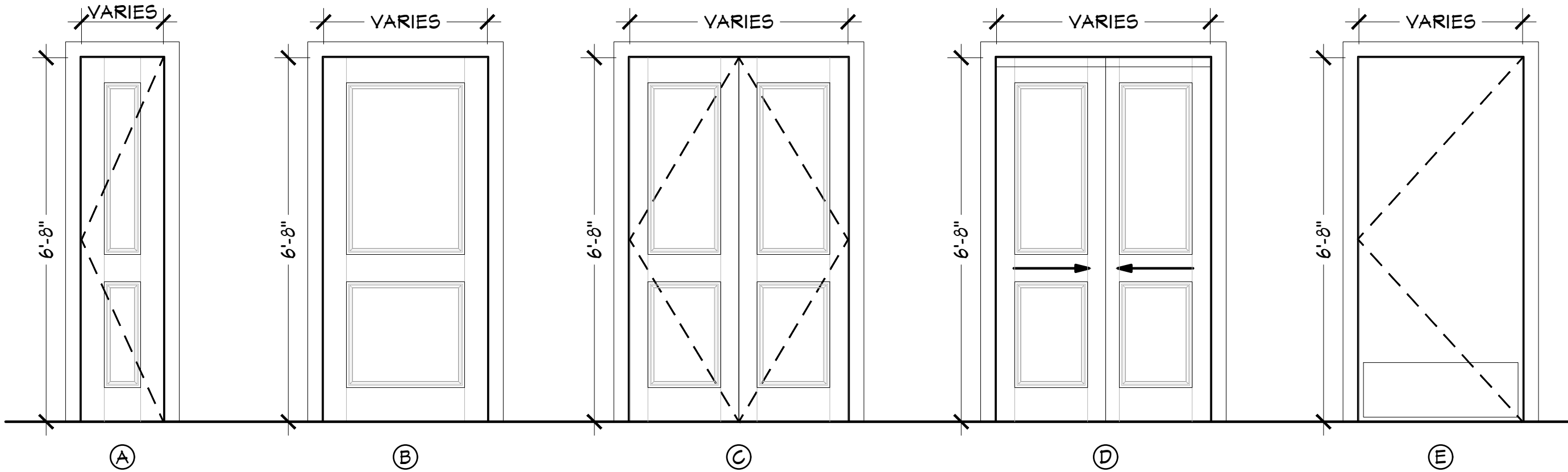
D 2 X 6 1-HR RATED PARTITION



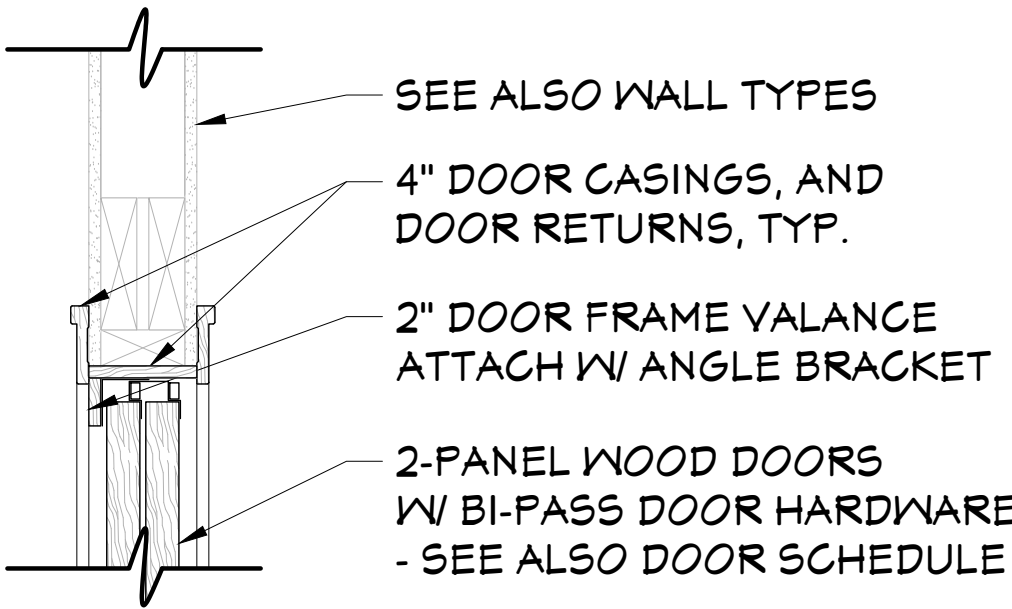
DOOR SCHEDULE														
PANEL TYPE	#	APT #	TYPE	LABEL	QTY	FLOOR	SIZE	R/O	DESCRIPTION	SLAB MTRL	FRAME	HARDWARE SET	#	COMMENTS
EXISTING	D01	C.A.				1ST	EXISTING	EXISTING	EXISTING HINGED DOOR	EXISTING	EXISTING	NA	D01	(C.A.) 1ST FLOOR COMMON AREA
2-PANEL	D02	17	D		2	1ST	31168	49"X81-1/2"	BIPASS DOOR	SOLID CORE	BIPASS	SET 2	D02	BIPASS FRAME AND HARDWARE SET
2-PANEL	D03	17	B		1	1ST	2868	34"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 1	D03	
2-PANEL	D04	17	A		1	1ST	1668	20"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 1	D04	
2-PANEL	D05	17	B		1	1ST	2468	30"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 3	D05	
2-PANEL	D06	17	B		1	1ST	2868	34"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 3	D06	
2-PANEL	D07	17	C		2	1ST	4068	50"X81-1/2"	DBL. HINGED DOOR	SOLID CORE	PREHUNG	SET 1	D07	
2-PANEL	D08	17	B		1	1ST	2468	30"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 3	D08	
FLUSH-PANEL	D09	17	E	B	1	1ST	3068	38"X81-1/2"	HINGE DOOR	ACROVYN	KD METAL	SET 5	D09	HIGH IMPACT RATED - DOOR CLOSER - PEEP HOLE
2-PANEL	D10	17	A		1	1ST	1668	20"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 1	D10	
2-PANEL	D10A	17	D		1	1ST	51168	73"X81-1/2"	BIPASS DOOR	SOLID CORE	BIPASS	SET 2	D10A	
2-PANEL	D11	17	A		1	1ST	2068	26"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 1	D11	
2-PANEL	D12	18	B		1	1ST	3068	76"X81-1/2"	POCKET DOOR	SOLID CORE	POCKET DR	SET 4	D12	POCKET DOOR HARDWARE KIT
2-PANEL	D13	18	C		2	1ST	4068	50"X81-1/2"	DBL. HINGED DOOR	SOLID CORE	PREHUNG	SET 1	D13	
2-PANEL	D14	18	C		2	1ST	3068	38"X81-1/2"	DBL. HINGED DOOR	SOLID CORE	PREHUNG	SET 1	D14	
FLUSH-PANEL	D15	18	E	B	1	1ST	3068	38"X81-1/2"	HINGE DOOR	ACROVYN	KD METAL	SET 5	D15	HIGH IMPACT RATED - DOOR CLOSER - PEEP HOLE
2-PANEL	D16	18	B		1	1ST	3068	38"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 3	D16	
2-PANEL	D17	18	D		3	1ST	51168	73"X81-1/2"	BIPASS DOOR	SOLID CORE	BIPASS	SET 2	D17	
2-PANEL	D18	19	D		2	2ND	31168	49"X81-1/2"	BIPASS DOOR	SOLID CORE	BIPASS	SET 2	D18	BIPASS FRAME AND HARDWARE SET
2-PANEL	D19	19	B		1	2ND	2868	34"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 1	D19	
2-PANEL	D20	19	A		1	2ND	1668	20"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 1	D20	
2-PANEL	D21	19	B		1	2ND	2468	30"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 3	D21	
2-PANEL	D22	19	B		1	2ND	2868	34"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 3	D22	
2-PANEL	D23	19	C		2	2ND	4068	50"X81-1/2"	DBL. HINGED DOOR	SOLID CORE	PREHUNG	SET 1	D23	
2-PANEL	D24	19	B		1	2ND	2468	30"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 3	D24	
FLUSH-PANEL	D25	19	E	B	1	2ND	3068	38"X81-1/2"	HINGE DOOR	ACROVYN	KD METAL	SET 5	D25	HIGH IMPACT RATED - DOOR CLOSER - PEEP HOLE
2-PANEL	D26	19	A		1	2ND	1668	20"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 1	D26	
2-PANEL	D27	19	D		2	2ND	51168	73"X81-1/2"	BIPASS DOOR	SOLID CORE	BIPASS	SET 2	D27	BIPASS FRAME AND HARDWARE SET
2-PANEL	D28	20	B		1	1ST	2868	34"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 1	D28	
2-PANEL	D29	20	A		1	1ST	2068	26"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 1	D29	
2-PANEL	D30	20	B		1	1ST	2868	34"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 3	D30	
2-PANEL	D31	20	C		2	2ND	4068	50"X81-1/2"	DBL. HINGED DOOR	SOLID CORE	PREHUNG	SET 1	D31	
2-PANEL	D32	20	C		2	1ST	3068	38"X81-1/2"	DBL. HINGED DOOR	SOLID CORE	PREHUNG	SET 1	D32	
FLUSH-PANEL	D33	20	E	B	1	2ND	3068	38"X81-1/2"	HINGE DOOR	ACROVYN	KD METAL	SET 5	D33	HIGH IMPACT RATED - DOOR CLOSER - PEEP HOLE
2-PANEL	D34	20	B		1	1ST	2868	34"X81-1/2"	HINGED DOOR	SOLID CORE	PREHUNG	SET 3	D34	
2-PANEL	D35	20	D		3	1ST	51168	73"X81-1/2"	BIPASS DOOR	SOLID CORE	BIPASS	SET 2	D35	BIPASS FRAME AND HARDWARE SET

GENERAL DOOR NOTES:

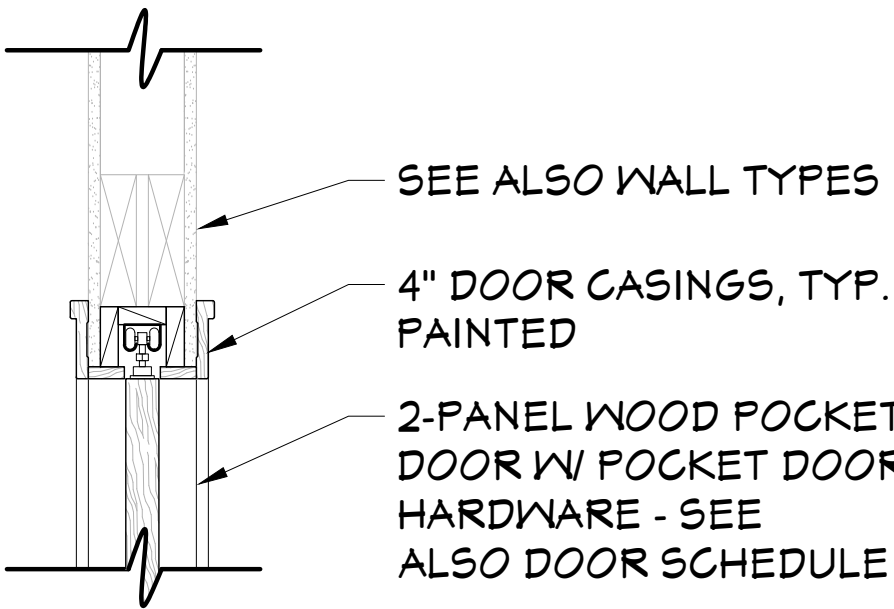
- ALL EXTERIOR DOORS SHALL BE 84", ALL INTERIOR DOORS SHALL BE 80",UNO
- ALL DOORS SHALL BE SOLID CORE 1 3/4" THICK, UNO
- INTERIOR DOORS SHALL BE PAINTED, VERIFY WITH MANAGEMENT
- EXTERIOR EXIT DOORS SHALL BE 36" MIN. NET CLEAR DOOR WAY SHALL BE 32" MIN. DOOR SHALL BE OPERABLE FROM INSIDE
- ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING
- UNDERCUT ALL INTERIOR APARTMENT DOORS - 1-1/4" A.F.F. UON
- DOOR TRIM TO BE 4", U.O.N.



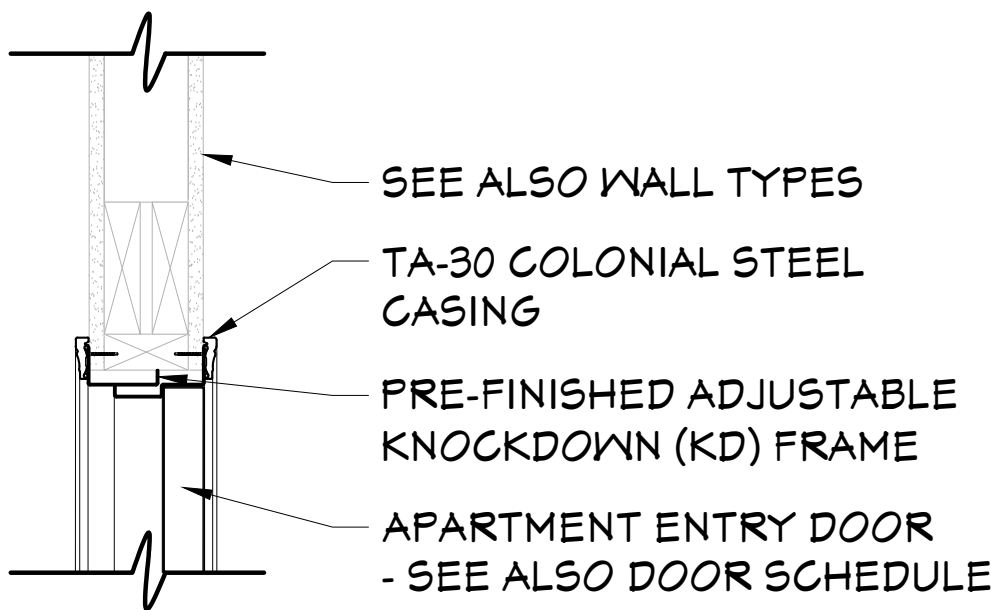
1 DOOR HEAD DETAIL  
SCALE: 1-1/2"=1'-0"



2 DOOR HEAD DETAIL  
SCALE: 1-1/2"=1'-0"



3 DOOR HEAD DETAIL  
SCALE: 1-1/2"=1'-0"



3 DOOR HEAD DETAIL  
SCALE: 1-1/2"=1'-0"



311 Alexander Street  
Suite 215  
Rochester, N. Y. 14604  
Phone 585-530-2230  
Fax 585-530-3302



THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE ARCHITECTURE AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE ARCHITECTURE. ALL RIGHTS RESERVED. ©

NOTICE: IT IS A VIOLATION OF NEW YORK STATE LAW TO ALTER PLANS, SPECIFICATIONS OR REPORTS TO WHICH THE SEAL OF AN ARCHITECT HAS BEEN APPLIED. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF THE ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE.

REVISIONS			
no.	date	by	description
△			
△			
△			
△			
△			
△			
△			
△			
△			

PROJECT & CLIENT

**RENOVATIONS TO**

**1289-1310**  
**LEXINGTON AVE.**  
**ROCHESTER, NY 14606**

**BUILDING 2, ENTRANCE 17**  
**APARTMENTS 17-20**

**ROCHESTER HOUSING AUTHORITY**  
6 CHRISTOPHER COURT,  
ROCHESTER, NY 14606

DRAWING TITLE

**DOOR SCHEDULE,**  
**DOOR ELEVATIONS AND**  
**DOOR HEAD DETAILS**

DRAWING NO.		drawn by	JLT
<b>A-4.0</b>		checked	PLM
		proj. capt.	PLM
		date	03-24-25
		proj. no.	---

ISSUE DATE

**03-24-25**



# PLUMBING SYMBOLS

-----	DCW	DOMESTIC COLD WATER PIPING (POTABLE)		PUMP
-----	DHW	DOMESTIC HOT WATER PIPING (POTABLE)		THERMOMETER W/PET COCK
-----	DHWR	DOMESTIC HOT WATER RECIRCULATION PIPING		PRESSURE GAUGE W/PET COCK
-----	SAN	SANITARY/WASTE PIPING		CENTRIC REDUCER
-----	PSAN	PUMPED SANITARY/WASTE PIPING		ECCENTRIC REDUCER
-----	SAN-OW	SANITARY/WASTE OIL WATER PIPING		BALL VALVE (FULL PORT)
-----	SAN-GW	SANITARY/GREASE WASTE PIPING		VENT PIPING
-----	V	VENT PIPING		BALL VALVE DRAIN
-----	STM	STORM PIPING		BALL VALVE VENT
-----	STM-OF	STORM OVERFLOW PIPING		PLUG VALVE
-----	D	DRAIN PIPING		GATE VALVE
-----	PC	PUMPED CONDENSATE		BUTTERFLY VALVE
-----	NG	NATURAL GAS PIPING (4"-14" WC)		GLOBE VALVE
-----	NG (HP)	NATURAL GAS PIPING (2.0 PSI)		BALANCE VALVE
-----	CA	COMPRESSED AIR (80-120 PSI)		THERMOSTATIC BALANCE VALVE
-----	●	DECK PLATE CLEANOUT		CHECK VALVE
-----	○	END OF PIPE CLEANOUT		3 WAY CONTROL VALVE
-----	○	WALL CLEANOUT		2 WAY CONTROL VALVE
-----	○	GRADE CLEANOUT		TRIPLE DUTY VALVE
-----	○	FLOOR DRAIN		SUCTION DIFFUSER
-----	○	ROOF DRAIN		STRAINER W/BLOWDOWN & VALVE
-----	○	HOSE BIBB		AUTO AIR VENT W/BALL VALVE
-----	BOP	BOTTOM OF PIPING		RELIEF VALVE W/D RIP PAN ELBOW
-----	E###	EXISTING EQUIPMENT/PIPE/DUCT/ETC		PRESSURE REDUCING VALVE
-----	AFF	ABOVE FINISHED FLOOR		PIT PORT
-----	○	POINT OF DISCONNECT		UNION
-----	○	POINT OF RECONNECTION		CAP
-----	○	FLOW SENSOR		BLIND FLANGE
-----	○	WATER TEMPERING MIXING VALVE		THREADED HOSE CONNECTION
-----	○	BACKFLOW PREVENTER		PIPE DROP
-----	BFP-#	BACKFLOW PREVENTER		PIPE RISE
-----	BKV-#	BACKWATER VALVE		PIPE TOP TAKEOFF
-----	BKV-#	BACKWATER VALVE		PIPE BOTTOM TAKEOFF

GENERAL DEMOLITION NOTES		(APPLICABLE TO ALL DRAWINGS)
1. PLUMBING CONTRACTOR IS RESPONSIBLE TO PROPERLY DRAIN OR DISCHARGE PLUMBING SYSTEMS PRIOR TO START OF DEMOLITION. COORDINATE WITH OWNER AND ALL APPLICABLE CODES FOR WASTE FLUID DISPOSAL.		
2. COORDINATE DEMOLITION WORK OF THIS CONTRACT WITH WORK OF OTHER CONTRACTS AND THE OWNER. COORDINATE WITH ASBESTOS ABATEMENT CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK.		
3. PLUMBING CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL PIPE ROUTINGS, SIZES AND ELEVATIONS.		
4. EXISTING UTILITIES/SYSTEMS TO REMAIN ARE SHOWN LIGHT SOLID. EQUIPMENT/UTILITIES TO BE REMOVED ARE SHOWN HEAVY DASHED OR HATCHED.		
5. COORDINATE ALL SHUTDOWN AND DRAINAGE OF PLUMBING SYSTEMS WITH OWNER.		
6. COMPLETELY REMOVE ABANDONED PIPING OR EQUIPMENT. BRANCH WORK TO BE DEMOLISHED SHALL BE COMPLETELY REMOVED BACK TO POINT OF DISCONNECTION.		
7. BLANK OFF, PLUG, OR CAP BRANCH PIPING TO BE DEMOLISHED AT THE POINT OF DISCONNECTION FROM MAIN.		
8. REMOVE COMPLETELY ALL PIPE HANGERS, STRAPS, CLAMPS, SUPPORTS AND PADS ASSOCIATED WITH PIPING, OR EQUIPMENT BEING DEMOLISHED.		
9. REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION AND DEMOLITION PHASING. COORDINATE ALL EQUIPMENT SHUTDOWNS AND DEMOLITION WITH PROJECT PHASING.		
10. ALL ELECTRICAL POWER WIRING DISCONNECT AND REMOVAL OF PLUMBING EQUIPMENT IS THE RESPONSIBILITY OF DIVISION 26. PLUMBING CONTRACTOR SHALL REMOVE ALL LOW VOLTAGE CONTROL WIRING, SENSORS, THERMOSTATS, ETC AND RACEWAY.		

PIPE LABEL (2)		DESIGNATION AND COLOR	
PIPE SIZE	MARKER SIZE	SERVICE	ABBREVIATION
INCHES (1)	INCHES	DOMESTIC COLD WATER	DCW
3/4"-1 3/8"	8" H X 2 1/4" H (CUSTOM)	DOMESTIC HOT WATER	DHW
1 1/2"-2 3/8"	8" H X 2 1/4" H (CUSTOM)	DOMESTIC HOT WATER RECIRCULATION	DHWR
2 1/2"-7 7/8"	12" H X 2 1/4" H (CUSTOM)	SANITARY	SAN
8"-10"	24" H X 4" H (CUSTOM)	VENT	V
10" & LARGER	32" H X 4 1/2" H (CUSTOM)		

Labels to be applied every 15'-0" at wall and floor penetrations.

Center and level label on pipe.

Flow arrows full circumference of pipe.

Custom vinyl self-adhesive label with pipe size and service.

Notes:

- Labels to be provided on all piping exposed, concealed or inaccessible.
- All labels to be installed at completion of painting by others.

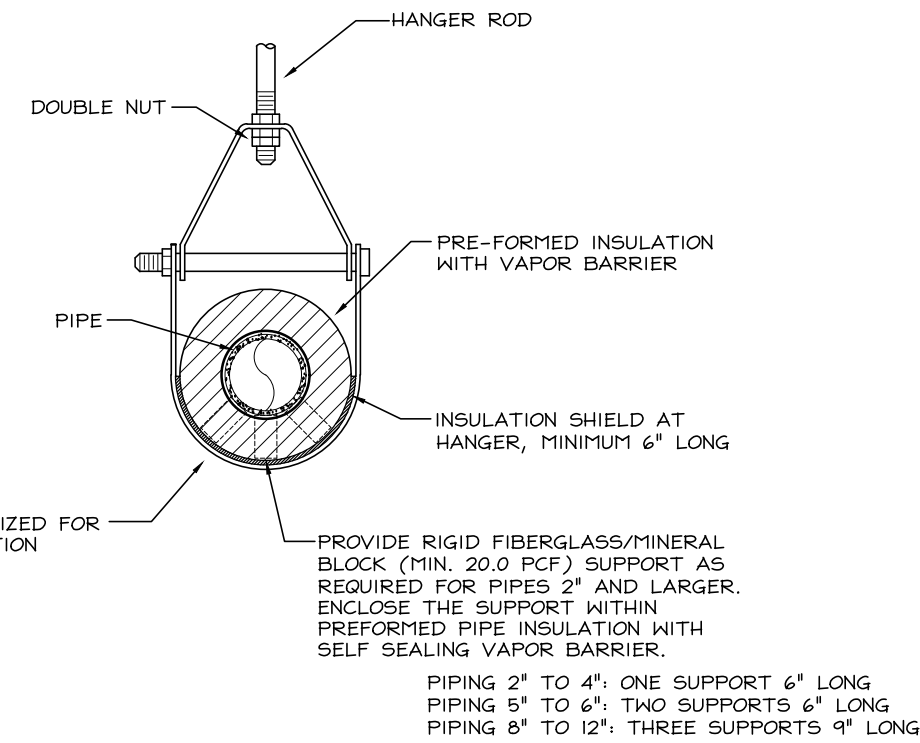
To meet ASHRAE/ANSI Standard A5.1

To meet ASHRAE/ANSI Standard A5.1

GENERAL NOTES		(APPLICABLE TO ALL DRAWINGS)
1. ALL PLUMBING WORK SHALL BE INSTALLED AS PER THE LATEST PLUMBING CODE OF NEW YORK STATE.		
2. THE PLUMBING CONTRACTOR SHALL PROVIDE AND PAY ALL FEES FOR AUTHORITY HAVING JURISDICTION INSPECTIONS AND PERMITS. THE PLUMBING CONTRACTOR SHALL COORDINATE AND PROVIDE ALL FEES FOR SERVICE ENTRANCE RECONFIGURATIONS, RELOCATIONS, UPGRADES, ETC. WITH THE APPROPRIATE AUTHORITY.		
3. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND INDICATE THE SIZE AND GENERAL ARRANGEMENT OF PIPING, EQUIPMENT, AND SPECIALTIES. MINOR ADJUSTMENTS TO LOCATIONS AND ROUTINGS SHOWN SHALL BE DETERMINED IN THE FIELD BEFORE AND AS THE WORK PROGRESSES.		
4. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF ANY WORK OR SHOP FABRICATION. ANY REQUIRED CHANGES TO WORK SHOWN ON DRAWINGS SHALL BE COORDINATED WITH ARCHITECT/ENGINEER AND OTHER TRADES PRIOR TO CONSTRUCTION.		
5. DRAWINGS DO NOT INDICATE ALL OFFSETS, CHANGES IN ELEVATION, ETC. WHICH MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS. THE PLUMBING CONTRACTOR SHALL PROVIDE FOR SUCH CHANGES IN PIPING OR EQUIPMENT LOCATIONS AS NECESSARY TO ACCOMMODATE STRUCTURE, FIELD CONDITIONS AND THE WORK OF OTHER CONTRACTS.		
6. THE WORK INCLUDED IN THIS CONTRACT ENCOMPASSES BOTH THE DRAWINGS AND SPECIFICATIONS. WORK INCLUDED ON THE DRAWINGS ONLY, OR IN THE SPECIFICATIONS ONLY, SHALL BE INCORPORATED AS IF INCLUDED IN BOTH. SYSTEMS ARE INTENDED TO BE COMPLETE AND FULLY FUNCTIONING. THE CONTRACTOR SHALL PROVIDE SUCH COMPONENTS AS NECESSARY FOR A FULLY FUNCTIONING SYSTEM.		
7. COORDINATE THE WORK OF THIS CONTRACT WITH THE WORK OF OTHER CONTRACTS. COORDINATE WITH GENERAL CONTRACTOR FOR ALL ROOF/FLOOR PENETRATIONS, SOFFITS, CHASES, AND PADS.		
8. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT CEILING EQUIPMENT LOCATIONS/COORDINATION. REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION AND DEMOLITION PHASING COORDINATE ALL EQUIPMENT SHUTDOWNS AND DEMOLITION WITH PROJECT PHASING.		
9. EXCEPT AS SPECIFICALLY INDICATED ON THE ARCHITECTURAL DRAWINGS, THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL, STORAGE, AND REINSTALLATION OF THE EXISTING CEILING SYSTEMS AS REQUIRED TO ACCOMPLISH THE PLUMBING SCOPE OF WORK INDICATED. PLUMBING CONTRACTOR SHALL REPLACE CEILING SYSTEM COMPONENTS DAMAGED DURING THE COMPLETION OF THEIR WORK WITH NEW COMPONENTS TO MATCH EXISTING CONDITIONS.		
10. PHASE INSTALLATION OF EQUIPMENT AND PIPING TO ENSURE CONSTRUCTABILITY, AND THAT CONSTRUCTION PROCEEDS IN AN EFFICIENT, ORGANIZED, AND ORDERLY MANNER. PIPING TO BE SLOPED SHALL TAKE PRECEDENCE OVER PRESSURE PIPING AND EQUIPMENT LOCATIONS.		
11. SEAL ALL PIPING PENETRATIONS IN ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE AND NFPA.		
12. EXCEPT AS NOTED IN SPECIFICATIONS/DRAWINGS, ALL CUTTING AND PATCHING OF BUILDING COMPONENTS REQUIRED TO ACCOMMODATE THE WORK OF THIS CONTRACT SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR. ALL PATCHING SHALL MATCH THE EXISTING COMPONENTS AND FINISHES. CUTTING AND PATCHING WORK SHALL BE PERFORMED BY PERSONNEL TRAINED AND REGULARLY EMPLOYED FOR SUCH SERVICES.		
13. ALL STRUCTURAL REINFORCING, FRAMING, OPENINGS, ETC. WILL BE PROVIDED BY THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER. THE PLUMBING CONTRACTOR SHALL COORDINATE ALL LOCATIONS, SIZES, ELEVATIONS, ETC. WITH THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER.		
14. INSTALL ALL PIPING, EQUIPMENT AND SPECIALTIES TO ALLOW MAXIMUM CLEARANCE AND AVOID INTERFERENCE WITH THE OPERATION AND MAINTENANCE OF ALL EQUIPMENT, NEW OR EXISTING. DO NOT INSTALL ANYTHING ABOVE OR WITHIN 3 FT. IN FRONT OF ELECTRICAL GEAR.		
15. PROVIDE HINGED ACCESS DOORS OR PANELS WHETHER SHOWN OR NOT FOR ACCESS TO ALL FILTERS, COILS, VALVES, OR ANY SERVICEABLE EQUIPMENT WHICH IS NOT READILY ACCESSIBLE. ACCESS DOORS AND PANELS INSTALLED IN FINISHED WALLS OR CEILINGS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL SPECIFICATIONS.		
16. PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY SUPPORT FRAMING, STIFFENERS, BRACING, AND HANGERS WHETHER SHOWN OR NOT TO ENSURE A COMPLETE AND DURABLE SYSTEM. SUPPORT FRAMING CONNECTIONS SHALL BE WELDED UNLESS SPECIFICALLY SHOWN OTHERWISE. ACTUAL SUPPORTS MAY VARY FROM THOSE SHOWN IN DETAILS AS REQUIRED BY ACTUAL EQUIPMENT FURNISHED OR FIELD CONDITIONS.		
17. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTION MANUAL OR MANUFACTURER'S REPRESENTATIVE'S WRITTEN INSTRUCTIONS.		
18. ABOVE FINISH FLOOR (AFF) DIMENSIONS SHOWN ON DRAWINGS INDICATE CLEAR DIMENSIONS FROM FINISH FLOOR (FF) TO BOTTOM OF EQUIPMENT/DUCT/PIPE UNLESS INDICATED OTHERWISE.		
19. COORDINATE ROUGH-IN FOR ALL FIXTURES AND EQUIPMENT WITH MANUFACTURER'S REQUIREMENTS. COORDINATE PIPING RUNS WITH FLOORING CONTRACTOR TO ALLOW TIME FOR INSTALLATION. FLOOR DRAINS AT PROPER ELEVATION TO ALLOW ADJUSTMENT TO FINISH FLOOR.		
20. ALL EXPOSED PIPING TO BE INSULATED INCLUDING: SANITARY, VENT, STORM, POTABLE WATER, PUMPED DRAINS, ETC. PAINTING OF PIPING BY OTHERS.		
21. LABEL ALL PIPING/EQUIPMENT AS DETAILED AND SPECIFIED. ALL PAINTING OF NEW AND EXISTING PIPING, EQUIPMENT, DEVICES, HANGERS, ETC. SHALL BE PROVIDED BY THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER.		
22. FIELD VERIFY ALL EXISTING PIPE SIZES THAT ARE SHOWN TO BE RECONNECTED. CORE DRILL, SLEEVE AND FIRE CAULK ALL PIPING PENETRATIONS THRU WALLS, SLABS, FLOORS AND PARTITIONS, ETC. ALL NEW PIPING TO BE FLUSHED WITH CLEAN CITY WATER TO DRAIN FROM POINT OF CONNECTIONS TO NEW EQUIPMENT. FLUSHING TO CONTINUE UNTIL WASTE WATER IS CLEAR AND FREE OF DEBRIS. ISOLATE ALL NEW EQUIPMENT FROM PIPING PRIOR TO FLUSHING.		
23. INSTALL ALL PIPING MAINS PARALLEL TO EACH OTHER WITH SUFFICIENT SPACE FOR INSULATION INSTALLATION. PROVIDE SHUTOFF VALVES ON THE ASSOCIATED PIPING OF EACH PIECE OF PIPING EQUIPMENT TO ALLOW ISOLATION FOR SERVICE AND REPAIR WHETHER SHOWN OR NOT. ALL SANITARY/VENT PIPING SHALL HAVE NO LESS THAN 1/8" PER FOOT IN DIRECTION OF FLOW UNLESS OTHERWISE NOTED. INSTALL DRAINS ON POTABLE WATER PIPING AT LOW POINTS IN MAINS, RISERS, AND BRANCH PIPING CONSISTING OF A 3/4" BALL VALVE, THREADED HOSE CONNECTION AND CAP. PROVIDE A DRAIN AT MINIMUM OF 30'-0" INTERVALS.		
24. ALL PLUMBING/PIPING SYSTEM SHUTDOWNS SHALL OCCUR ON NIGHTS AND WEEKENDS. ALL NEW PIPING/MAINS SHALL BE INSTALLED PRIOR TO SHUTDOWN AND TIE-IN TO EXISTING SYSTEMS. COORDINATE ALL SHUTDOWNS AND TIE-INS WITH OWNER.		

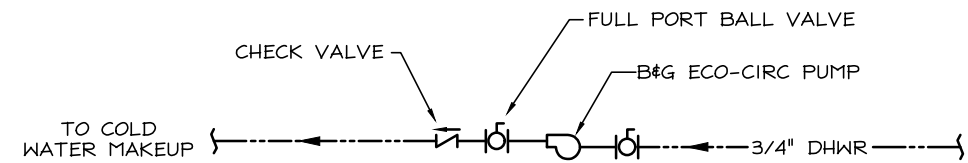
### PLUMBING PIPE LABEL DETAIL

SCALE: NONE



### PIPE HANGER DETAIL

SCALE: NONE



### HOT WATER RECIRCULATION PUMP DETAIL

SCALE: NONE

PLUMBING FIXTURE SCHEDULE			
ID	FIXTURE	MANUFACTURER	TRIM
P-1	WATER CLOSET (HANDICAPPED)	AMERICAN STANDARD CADET CHAIR HEIGHT ELONGATED #2467.016 FLOOR MOUNTED TANK TYPE PRESSURE ASSISTED, VITREOUS CHINA, LOW CONSUMPTION 1.6 GPF, EVERCLEAN SURFACE	SEAT-, BEMIS #40055CT WHITE ELONGATED OPEN FRONT WITH 55 STAY-TIGHT, SOFT CLOSE LID
P-2	HALL-HUNG LAVATORY	NAMEKES TEOREMA SCARABEO 5124 WALL MOUNTED WHITE CERAMIC, SINGLE HOLE, OVERALL: 40"x18.2", BOWL:19.7"x13.2"x3.6"	DELTA LARKIN SINGLE HANDLE CENTERSSET FAUCET MODEL #1589MOLF-SP, DECK MOUNTED BRUSHED NICKEL, 1.2 GPM, ALSO PROVIDE TAILPIECE, STOPS, FLEXIBLE SUPPLIES, 17 GAUGE 1/2" TRAP & DRAIN TO WALL, ESCUTCHEONS & ACCESSORIES. MAKE: BRASS CRAFT OR MCGUIRE.
P-3	HALL-HUNG LAVATORY (HANDICAPPED MOUNTING)	NAMEKES TEOREMA SCARABEO 5124 WALL MOUNTED WHITE CERAMIC, SINGLE HOLE, OVERALL: 40"x18.2", BOWL:19.7"x13.2"x3.6"	DELTA LARKIN SINGLE HANDLE CENTERSSET FAUCET MODEL #1589MOLF-SP, DECK MOUNTED BRUSHED NICKEL, 1.2 GPM, ALSO PROVIDE TAILPIECE, STOPS, FLEXIBLE SUPPLIES, 17 GAUGE 1/2" TRAP & DRAIN TO WALL, ESCUTCHEONS & ACCESSORIES. MAKE: BRASS CRAFT OR MCGUIRE.
P-4	COUNTERTOP SINK	AMERICAN STANDARD COLONY MODEL 225B.4522835.075, TOP MOUNT SINGLE BOWL KITCHEN SINK, 25"x22"x6", BOWL: 21.25"x15.125"x6", 20 GAUGE STAINLESS STEEL, MINIMUM BASE CABINET WIDTH 27", UNDERSIDE TO BE FULLY SOUND DEADENED.	MOEN HUTCHINSON MODEL 87239SR5 TWO HANDLE HIGH ARC KITCHEN FAUCET, 1.5 GPM, BRUSHED SATIN FINISH. PROVIDE TAILPIECE, STOPS, FLEXIBLE SUPPLIES, 17 GAUGE 1/2" TRAP & DRAIN TO WALL, ESCUTCHEONS & ACCESSORIES. MAKE: BRASS CRAFT OR MCGUIRE.
P-5	COUNTERTOP SINK (HANDICAPPED MOUNTING)	AMERICAN STANDARD COLONY MODEL 225B.4522835.075, TOP MOUNT SINGLE BOWL KITCHEN SINK, 25"x22"x6", BOWL: 21.25"x15.125"x6", 20 GAUGE STAINLESS STEEL, MINIMUM BASE CABINET WIDTH 27", UNDERSIDE TO BE FULLY SOUND DEADENED.	MOEN HUTCHINSON MODEL 87239SR5 TWO HANDLE HIGH ARC KITCHEN FAUCET, 1.5 GPM, BRUSHED SATIN FINISH. PROVIDE TAILPIECE, STOPS, FLEXIBLE SUPPLIES, 17 GAUGE 1/2" TRAP & DRAIN TO WALL, ESCUTCHEONS & ACCESSORIES. MAKE: BRASS CRAFT OR MCGUIRE.
P-6	TUB	AMERICAN STANDARD PRINCETON 60" AMERICAST SOAKING TUB MODEL 2390.0202CH, COLOR: WHITE WITH DRAIN AND STOPPER.	DELTA MODEL R 10000 UNBX THERMOSTATIC MIXING VALVE WITH 30" MOUNTING ARM, SHOWER HEAD AND METAL HOSE. DELTA LELAND SINGLE HANDLE TEMPASSURE CHROME FINISH. MODEL:T117T278
P-7	ADA SHOWER	ADA SHOWER PAN VERITEK SERIES FBF-3462 ALCOVE SHOWER PAN WITH FRONT DRAIN IN WHITE, MATCHING ALL SURROUND SHANSTONE SERIES TSPK04-3462 GLUE UP TRADITIONAL SUBWAY TILE IN CARBARA MODEL: TSPK043462.221	DELTA MODEL R 10000 UNBX THERMOSTATIC MIXING VALVE WITH 30" MOUNTING ARM, SHOWER HEAD AND METAL HOSE. DELTA LELAND SINGLE HANDLE TEMPASSURE CHROME FINISH. MODEL:T117T278
P-8	WASHING MACHINE BOX	GUY GRAY/IPS CORPORATION 11" SERIES CENTER DRAIN WHITE POWDER COATED STEEL WASHING MACHINE OUTLET RECESSED WALL BOX, 20 GAUGE BOX WITH FACELATE, ROUGH GREENING 12 3/4"x9 1/4"x31 1/4"x9 1/4" FACELATE, BRASS QUARTER TURN SHUTOFF VALVES AND WATER HAMMER ARRESTORS	-
P-9	WASHING MACHINE FLOOR TRAY	MUSTEE MODEL 91 DURAPAN WASHIER PAN WITH CENTER DRAIN, ONE PIECE MOLDED FIBERGLASS, REMOVABLE FRONT THRESHOLD, INSIDE SIZE: 26"Lx24.25"Wx24"H	PROVIDE WITH 2" PROSET TRAP GUARD AND FIRE CAULK FLOOR PENETRATION.

PLUMBING PIPING SCHEDULE											
SYSTEM/SERVICE	ID	LOCATION	PIPE SIZE INCHES	MATERIAL	JOINT/FITTINGS	TYPE	PIPE SIZE INCHES	INSULATION CONDUCTIVITY BTU/H/48"SQFT/H	MIN. THICKNESS INCHES	JACKET	NOTES
DOM. COLD WATER	DCW	CONCEALED IN/ABOVE CEILINGS/WALLS	1/2"-4"	TYPE L COPPER	SOLDERED/THREADED/PRESS-FIT	PRE-FORM FIBERGLASS	1/2"-1 1/4"	0.21-0.27	1/2"	NONE	
							1 1/2"-4"	0.21-0.27	1"	NONE	
DCW		EXPOSED TO VIEW/MECH ROOMS	1/2"-4"	TYPE L COPPER	SOLDERED/THREADED/PRESS-FIT	PRE-FORM FIBERGLASS	1/2"-1 1/4"	0.21-0.27	1/2"	PVC	
							1 1/2"-4"	0.21-0.27	1"	PVC	
DOM. HOT WATER	DHW	CONCEALED IN/ABOVE CEILINGS/WALLS	1/2"-4"	TYPE L COPPER	SOLDERED/THREADED/PRESS-FIT	PRE-FORM FIBERGLASS	1/2"-1 1/4"	0.21-0.28	1"	NONE	
							1 1/2"-4"	0.21-0.28	1 1/2"	NONE	
DHW		EXPOSED TO VIEW/MECH ROOMS	1/2"-4"	TYPE L COPPER	SOLDERED/THREADED/PRESS-FIT	PRE-FORM FIBERGLASS	1/2"-1 1/4"	0.21-0.28	1"	PVC	
							1 1/2"-4"	0.21-0.28	1 1/2"	PVC	
DOM. HOT WATER RECIRC.	DHWR	CONCEALED IN/ABOVE CEILINGS/WALLS	1/2"-4"	TYPE L COPPER	SOLDERED/THREADED/PRESS-FIT	PRE-FORM FIBERGLASS	1/2"-1 1/4"	0.21-0.28	1"	NONE	
							1 1/2"-4"	0.21-0.28	1 1/2"	NONE	
DHWR		EXPOSED TO VIEW/MECH ROOMS	1/2"-4"	TYPE L COPPER	SOLDERED/THREADED/PRESS-FIT	PRE-FORM FIBERGLASS	1/2"-1 1/4"	0.21-0.28	1"	PVC	
							1 1/2"-4"	0.21-0.28	1 1/2"	PVC	
SANITARY/VENT	SAN/V	ABOVE GROUND	1 1/2"-4"	DWV COPPER	SOLDERED	-	-	-	-	-	
							-	-	-	-	
SAN/V		UNDER GROUND	1 1/2"-4"	SCHED 40 PVC	SOLID WALL SOLVENT CEMENT	-	-	-	-	-	
							-	-	-	-	

DOMESTIC HOT WATER RE-CIRCULATION PUMP SCHEDULE													
ID	LOCATION	SERVES	TYPE	FLUID	GPM	HEAD FT. WATER	SUCTION SIZE INCHES	DISCHARGE SIZE INCHES	RPM	HP	VOLTAGE	MANUFACTURER	REMARKS
RP-1	BASEMENT	APT UNIT 17	INLINE	120 °F HOT WATER	2.0	15.0	3/4"	3/4"	3300	-	120/1	BMG ECO CIRC+ 20-18	(1)
RP-2	BASEMENT	APT UNIT 18	INLINE	120 °F HOT WATER	2.0	15.0	3/4"	3/4"	3300	-	120/1	BMG ECO CIRC+ 20-18	(1)
RP-3	BASEMENT	APT UNIT 19	INLINE	120 °F HOT WATER	2.0	15.0	3/4"	3/4"	3300	-	120/1	BMG ECO CIRC+ 20-18	(1)
RP-4	BASEMENT	APT UNIT 20	INLINE	120 °F HOT WATER	2.0	15.0	3/4"	3/4"	3300	-	120/1	BMG ECO CIRC+ 20-18	(1)

(1) PROVIDE STAINLESS STEEL BODY FOR DOMESTIC WATER USE. PUMP TO BE SETUP FOR SET POINT TEMPERATURE CONTROL.

P

L

M

A

Peter L. Morse & Associates

ARCHITECTS A.I.A.

331 Alexander Street  
Suite 215  
Rochester, N. Y. 14604  
Phone 585-530-2230  
Fax 585-530-3302

## PICARD ENGINEERING

Engineering, Consulting and Design

PO Box 23791  
3159 Whiston Road South  
Rochester, New York 14692  
Tel: 585.292.6060  
Fax: 585.292.6064  
E-mail: info@picardeng.com



THESE DOCUMENTS AND ALL IDEAS, MEASUREMENTS, DESIGN AND PLANS INDICATED HEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE & ASSOCIATES AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSES WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE & ASSOCIATES. ALL RIGHTS RESERVED. ©

REVISIONS		
no.	date	by description
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT & CLIENT

RENOVATIONS TO

1289-1310

LEXINGTON AVE.

ROCHESTER, NY 14606

BUILDING 2, ENTRANCE 17

APARTMENTS 17-20

ROCHESTER HOUSING AUTHORITY

6 CHRISTOPHER COURT

ROCHESTER, NY14606

DRAWING TITLE

Plumbing Cover

DRAWING NO.

P-000

drawn by FJC

checked FJC



**PICARD  
ENGINEERING**

Engineering, Consulting and Design

P.O. Box 23791  
3159 Whiston Road South  
Rochester, New York 14692  
Tel: 585.292.6060  
Fax: 585.292.6064  
E-mail: info@picardeng.com



THESE DOCUMENTS AND ALL IDEAS, MECHANISMS, PERSONS  
AND PLANS INDICATED HEREON OR REPRESENTED BY ARE  
OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE  
& ASSOCIATES AND NO PART THEREOF SHALL BE UTILIZED BY  
ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE  
WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION  
OF PETER L. MORSE & ASSOCIATES. ALL RIGHTS RESERVED. ©

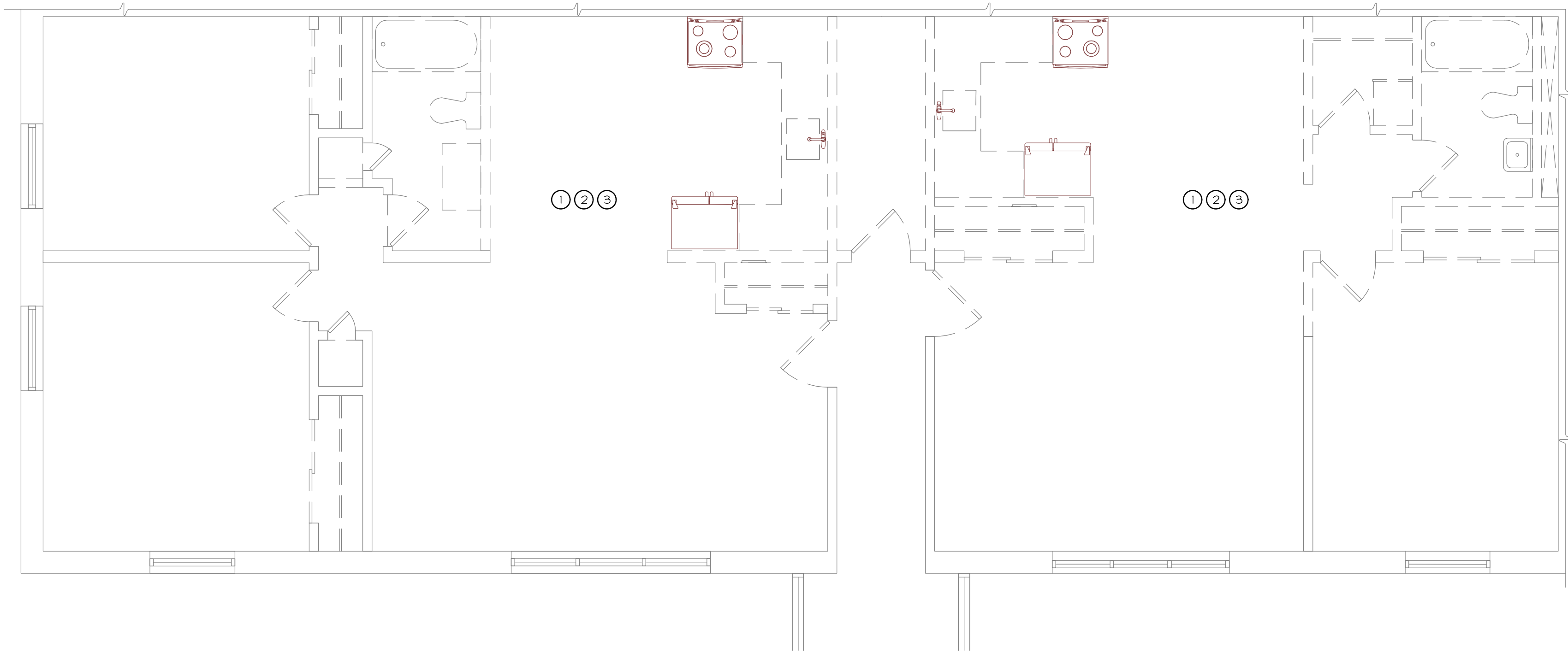
REVISIONS			
no.	date	by	description
△			
△			
△			
△			
△			
△			
△			
△			
△			

PROJECT & CLIENT	
RENOVATIONS TO	
<b>1289-1310</b>	
<b>LEXINGTON AVE.</b>	
<b>ROCHESTER, NY 14606</b>	
BUILDING 2, ENTRANCE 17	
<b>APARTMENTS 17-20</b>	
ROCHESTER HOUSING AUTHORITY	
6 CHRISTOPHER COURT	
ROCHESTER, NY 14606	

DRAWING TITLE
Plumbing Demolition Plans

DRAWING NO.	drawn by FJC
PD-200	checked FJC
	proj. capt. FLM
	date 03-24-25
	proj. nBE52418

ISSUE DATE
<b>03-24-25</b>

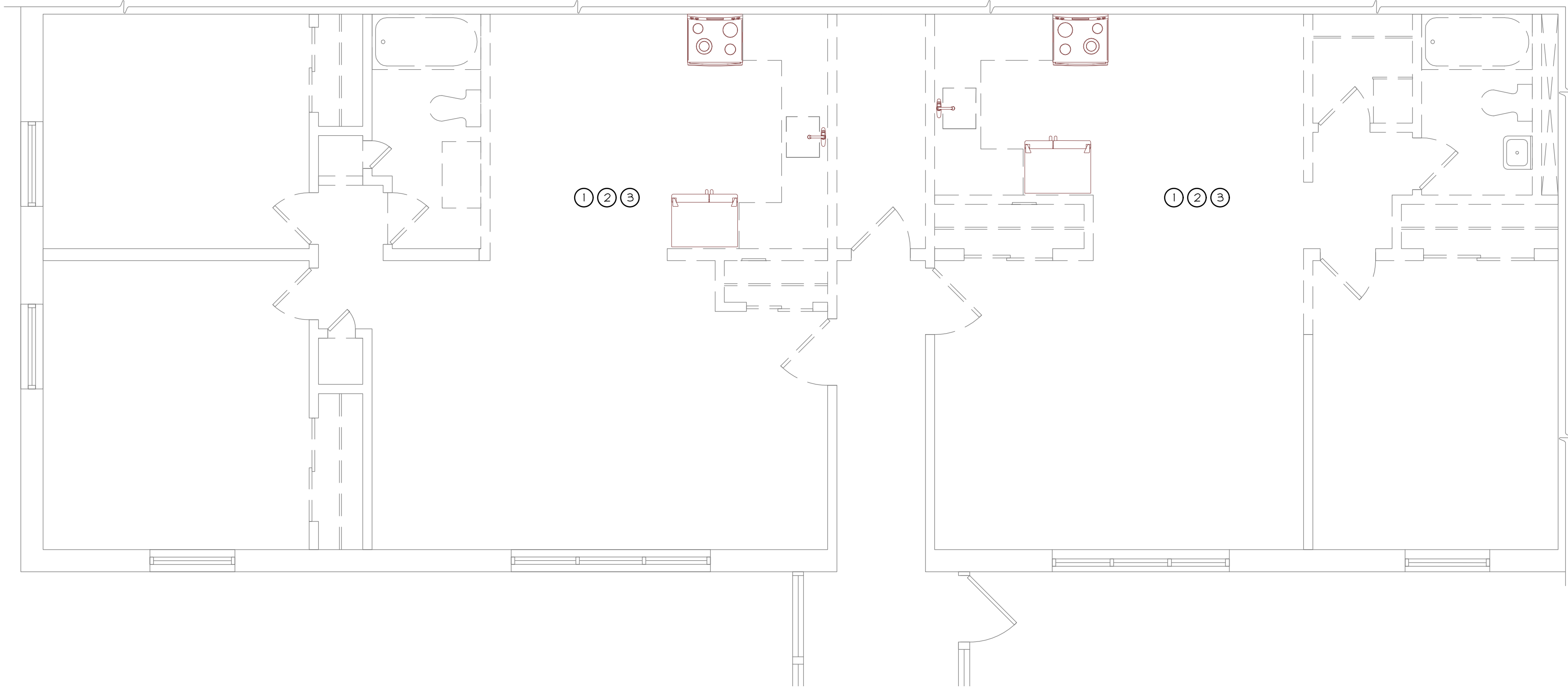


PARTIAL 2nd FLOOR PLUMBING DEMOLITION PLAN NORTH

SCALE: 1/4"=1'-0"

**KEY NOTES:**

- 1 REMOVE ALL EXISTING SANITARY AND VENT PLUMBING SYSTEMS IN THEIR ENTIRETY INCLUDED BUT NOT LIMITED TO FIXTURES, PIPING, VALVING, INSULATION, HANGERS, SUPPORTS WITHIN THE APARTMENT. IT IS THE INTENT THAT ALL NEW SYSTEMS WILL BE PROVIDED. (TYPICAL)
- 2 REMOVE ALL EXISTING POTABLE WATER SYSTEMS IN THEIR ENTIRETY INCLUDED BUT NOT LIMITED TO FAUCETS, PIPING, VALVING, INSULATION, HANGERS, AND SUPPORTS WITHIN THE APARTMENT. IT IS THE INTENT THAT ALL NEW SYSTEMS WILL BE PROVIDED. (TYPICAL)
- 3 REMOVE EXISTING SANITARY/VENT, DOMESTIC COLD WATER AND DOMESTIC HOT WATER PIPING RISERS SERVING THE FIRST AND SECOND FLOOR APARTMENT DOWN TO THE BASEMENT/CRAWLSPACE. IT IS THE INTENT TO REMOVE ALL EXISTING PIPING TO THE BASEMENT/CRAWLSPACE AND REPLACE WITH NEW FROM THE POINT OF DISCONNECT. FIELD VERIFY EXACT POINT OF DISCONNECT WITHIN THE BASEMENT/CRAWLSPACE AND TEMPORARILY CAP.



PARTIAL 1st FLOOR PLUMBING DEMOLITION PLAN NORTH

SCALE: 1/4"=1'-0"

**KEY NOTES:**

- 1 REMOVE ALL EXISTING SANITARY AND VENT PLUMBING SYSTEMS IN THEIR ENTIRETY INCLUDED BUT NOT LIMITED TO FIXTURES, PIPING, VALVING, INSULATION, HANGERS, SUPPORTS WITHIN THE APARTMENT. IT IS THE INTENT THAT ALL NEW SYSTEMS WILL BE PROVIDED. (TYPICAL)
- 2 REMOVE ALL EXISTING POTABLE WATER SYSTEMS IN THEIR ENTIRETY INCLUDED BUT NOT LIMITED TO FAUCETS, PIPING, VALVING, INSULATION, HANGERS, AND SUPPORTS WITHIN THE APARTMENT. IT IS THE INTENT THAT ALL NEW SYSTEMS WILL BE PROVIDED. (TYPICAL)
- 3 REMOVE EXISTING SANITARY/VENT, DOMESTIC COLD WATER AND DOMESTIC HOT WATER PIPING RISERS SERVING THE FIRST AND SECOND FLOOR APARTMENT DOWN TO THE BASEMENT/CRAWLSPACE. IT IS THE INTENT TO REMOVE ALL EXISTING PIPING TO THE BASEMENT/CRAWLSPACE AND REPLACE WITH NEW FROM THE POINT OF DISCONNECT. FIELD VERIFY EXACT POINT OF DISCONNECT WITHIN THE BASEMENT/CRAWLSPACE AND TEMPORARILY CAP.



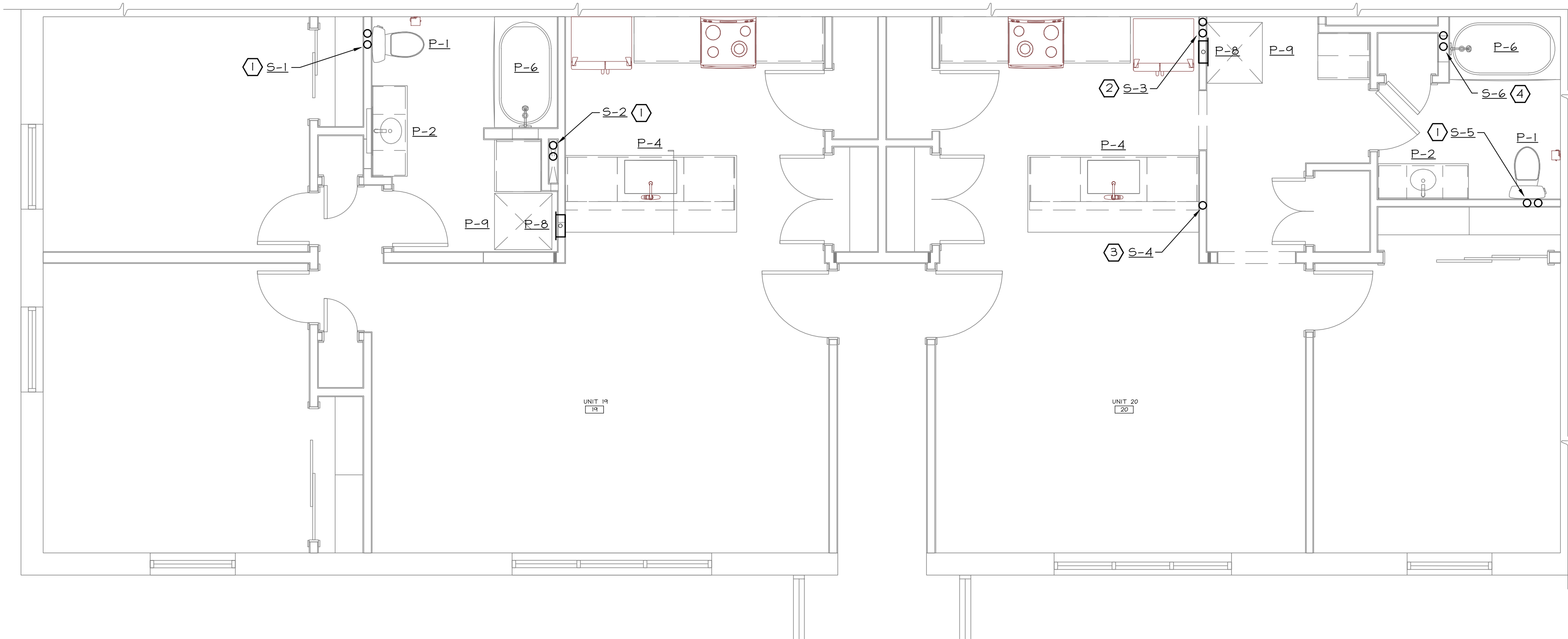
**PICARD**  
**ENGINEERING**

Engineering, Consulting and Design

P.O. Box 23791  
3159 Whiston Road South  
Rochester, New York 14692  
Tel: 585.292.6060  
Fax: 585.292.6064  
E-mail: info@picardeng.com



THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS  
AND PLANS INDICATED HEREON OR REPRESENTED BY ARE  
OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE  
& ASSOCIATES AND NO PART THEREOF SHALL BE UTILIZED BY  
ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE  
WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION  
OF PETER L. MORSE & ASSOCIATES. ALL RIGHTS RESERVED. ©



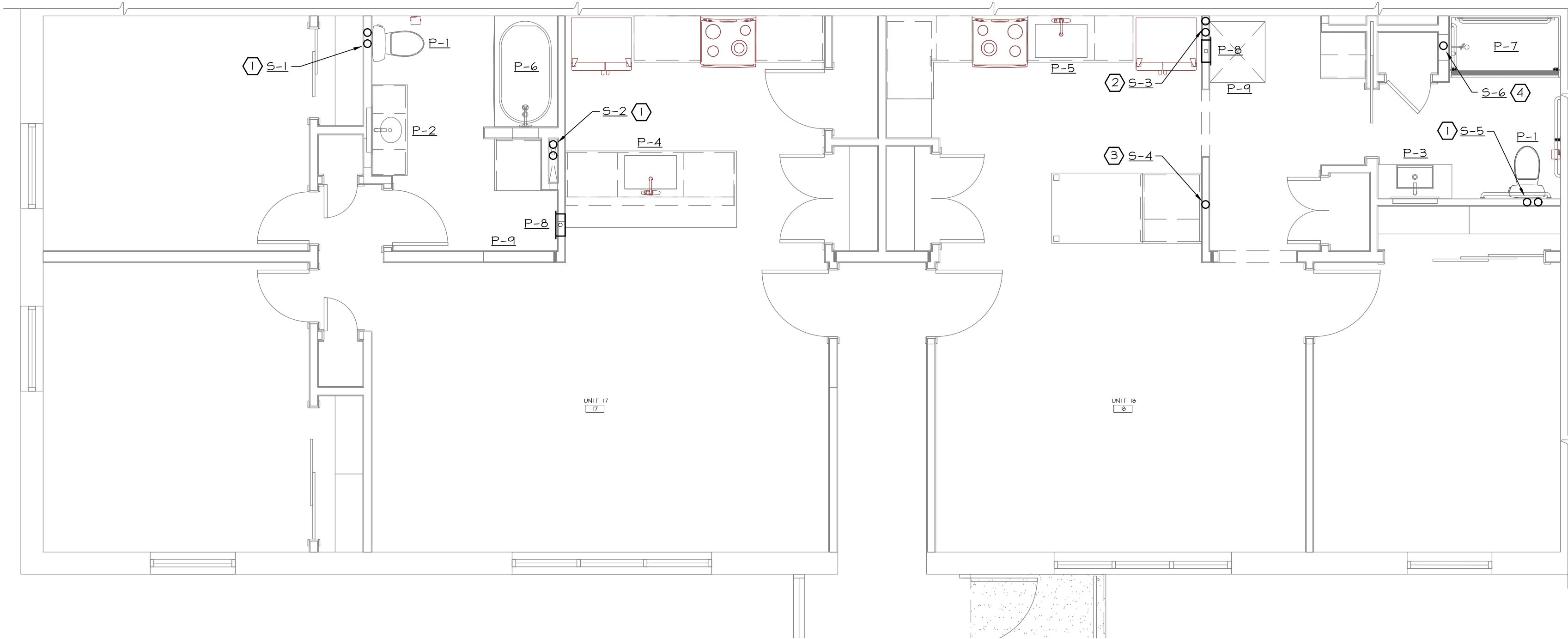
PARTIAL 2nd FLOOR SANITARY/VENT PLAN

SCALE: 1/4"=1'-0"



**KEY NOTES:**

- NEW 4" SANITARY DOWN, 3" VENT UP TO 4" VENT RISER THROUGH ROOF. SEE SANITARY & VENT RISER DIAGRAM FOR PIPING.
- NEW 3" SANITARY DOWN, 2" VENT UP TO 3" VENT RISER THROUGH ROOF. SEE SANITARY & VENT RISER DIAGRAM FOR PIPING.
- NEW 2" SANITARY DOWN; SEE SANITARY & VENT RISER DIAGRAM FOR PIPING.
- NEW 3" SANITARY DOWN AND 3" VENT RISER UP TO 3" VENT RISER THROUGH ROOF; SEE SANITARY & VENT RISER DIAGRAM FOR PIPING.
- WASHING MACHINE PAN PIPED TO SANITARY SYSTEM; SEE SANITARY & VENT RISER DIAGRAM FOR PIPING.



PARTIAL 1st FLOOR SANITARY/VENT PLAN

SCALE: 1/4"=1'-0"



**KEY NOTES:**

- NEW 4" SANITARY AND 2" VENT RISER UP/DOWN TO SERVE PLUMBING FIXTURES; SEE SANITARY & VENT RISER DIAGRAM FOR PIPING.
- NEW 3" SANITARY AND 2" VENT RISER UP/DOWN TO SERVE PLUMBING FIXTURES; SEE SANITARY & VENT RISER DIAGRAM FOR PIPING.
- NEW 2" SANITARY UP/DOWN TO SERVE PLUMBING FIXTURES; SEE SANITARY & VENT RISER DIAGRAM FOR PIPING.
- NEW 3" SANITARY RISER UP/DOWN TO SERVE PLUMBING FIXTURES; SEE SANITARY & VENT RISER DIAGRAM FOR PIPING.
- WASHING MACHINE PAN PIPED TO SANITARY SYSTEM; SEE SANITARY & VENT RISER DIAGRAM FOR PIPING.

REVISIONS			
no.	date	by	description
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

PROJECT & CLIENT	
RENOVATIONS TO	
1289-1310	
LEXINGTON AVE.	
ROCHESTER, NY 14606	
BUILDING 2, ENTRANCE 17	
APARTMENTS 17-20	
ROCHESTER HOUSING AUTHORITY	
6 CHRISTOPHER COURT	
ROCHESTER, NY 14606	

DRAWING TITLE	
Plumbing Sanitary and Vent Piping Plans	

DRAWING NO.	
P-200	
drawn by	FJC
checked	FJC
proj. capt.	FLM
date	03-24-25
proj. n	0522418

ISSUE DATE	
03-24-25	



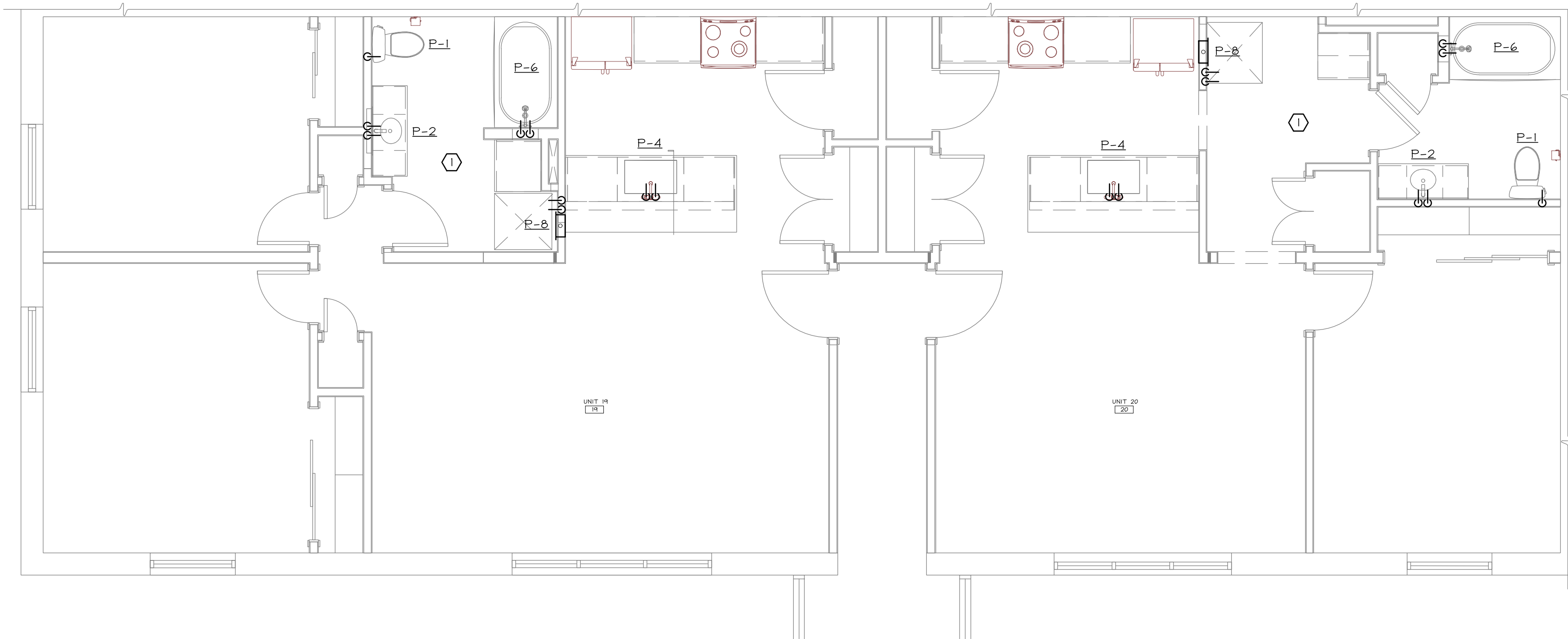
**PICARD**  
**ENGINEERING**

Engineering, Consulting and Design

P.O. Box 23791  
3159 Whiston Road South  
Rochester, New York 14692  
Tel: 585.292.6060  
Fax: 585.292.6064  
E-mail: info@picardeng.com



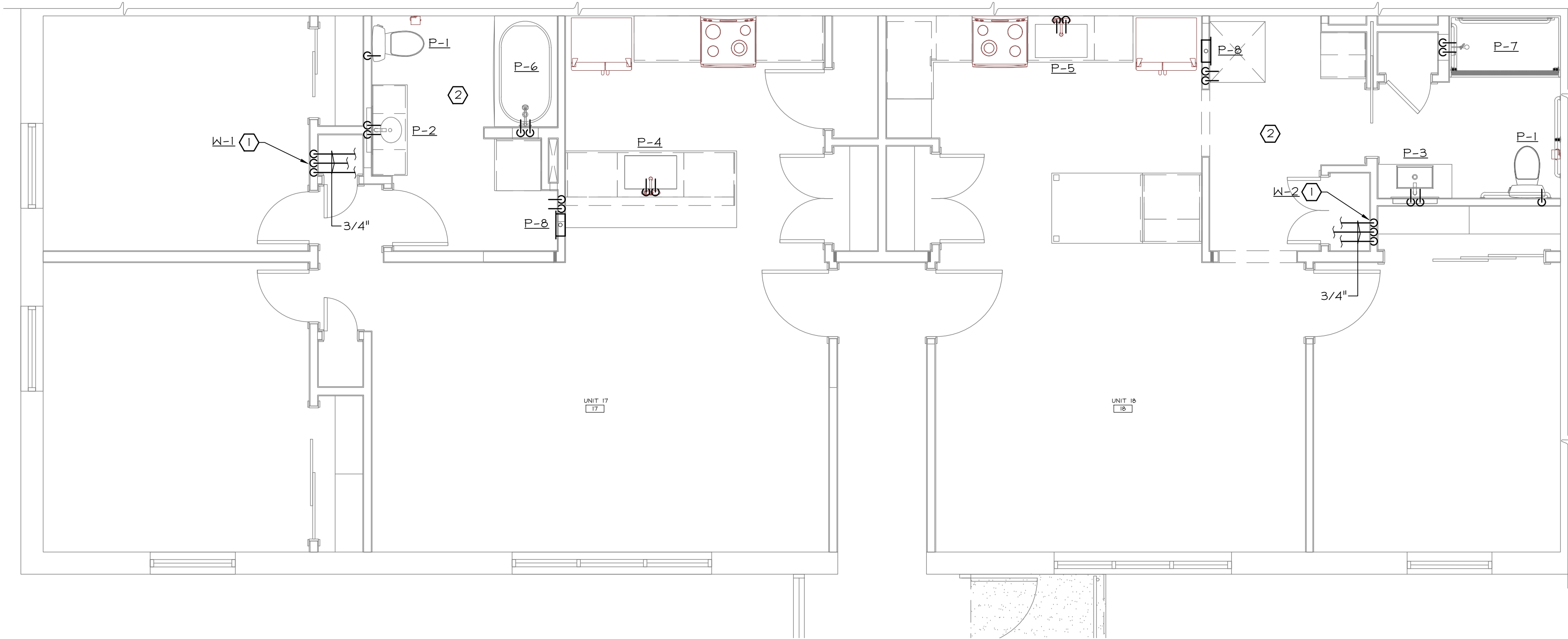
THESE DOCUMENTS AND ALL IDEAS, REFINEMENTS, DESIGNS  
AND PLANS INDICATED HEREON OR REPRESENTED BY ARE  
OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE  
& ASSOCIATES AND NO PART THEREOF SHALL BE UTILIZED BY  
ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE  
WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION  
OF PETER L. MORSE & ASSOCIATES. ALL RIGHTS RESERVED. ©



PARTIAL 2nd FLOOR POTABLE WATER PLAN NORTH  
SCALE: 1/4"=1'-0"

**KEY NOTES:**

- ① DCW AND DHW UP TO 2ND FLOOR FIXTURES SERVED FROM 1ST  
FLOOR CEILING SPACE. SEE POTABLE WATER RISER DIAGRAM  
FOR PIPING.



PARTIAL 1st FLOOR POTABLE WATER PLAN NORTH  
SCALE: 1/4"=1'-0"

**KEY NOTES:**

- ① 3/4" DCW, 3/4" DHW AND 3/4" DHWR DOWN TO  
BASEMENT/CRAWLSPACE AND UP TO 1ST FLOOR CEILING TO  
SERVE 2ND FLOOR FIXTURES. SEE POTABLE WATER RISER  
DIAGRAM FOR PIPING.
- ② DCW AND DHW UP TO 1ST FLOOR FIXTURES SERVED FROM  
BASEMENT/CRAWLSPACE. SEE POTABLE WATER RISER  
DIAGRAM FOR PIPING.

REVISIONS			
no.	date	by	description
△			
△			
△			
△			
△			
△			
△			
△			
△			
△			

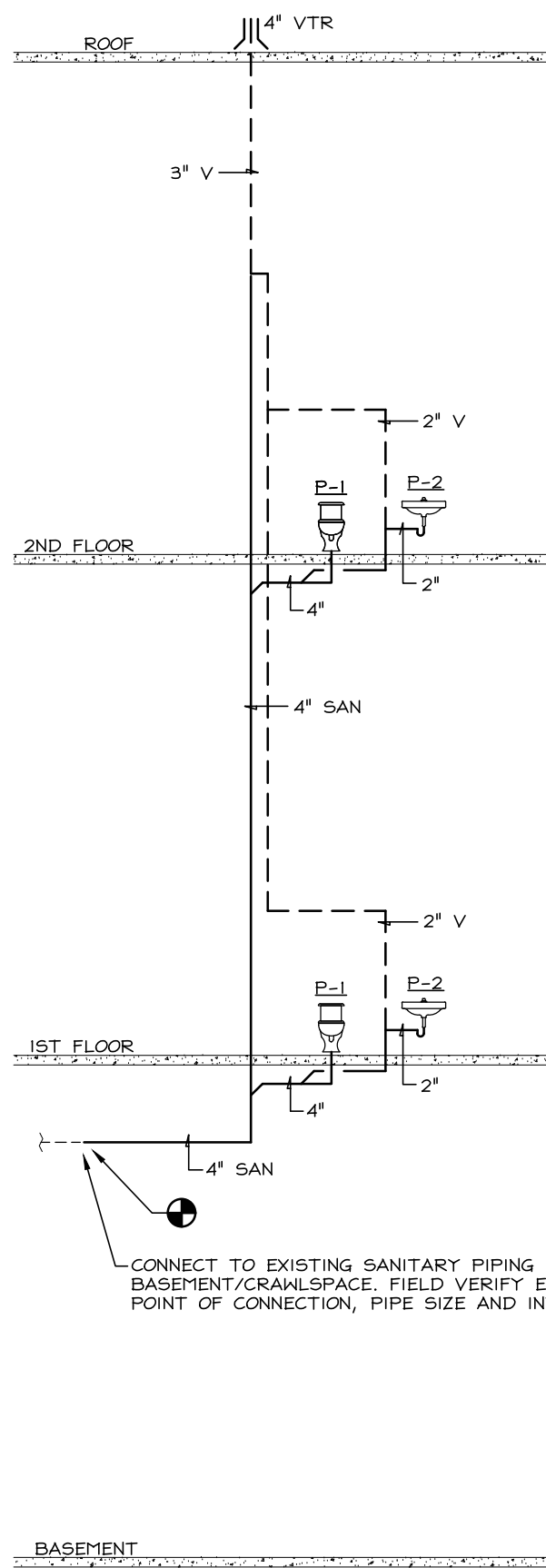
PROJECT & CLIENT
RENOVATIONS TO
<b>1289-1310</b>
<b>LEXINGTON AVE.</b>
<b>ROCHESTER, NY 14606</b>
<b>BUILDING 2, ENTRANCE 17</b>
<b>APARTMENTS 17-20</b>
<b>ROCHESTER HOUSING AUTHORITY</b>
<b>6 CHRISTOPHER COURT</b>
<b>ROCHESTER, NY 14606</b>

DRAWING TITLE
Plumbing Potable Water Piping Plans

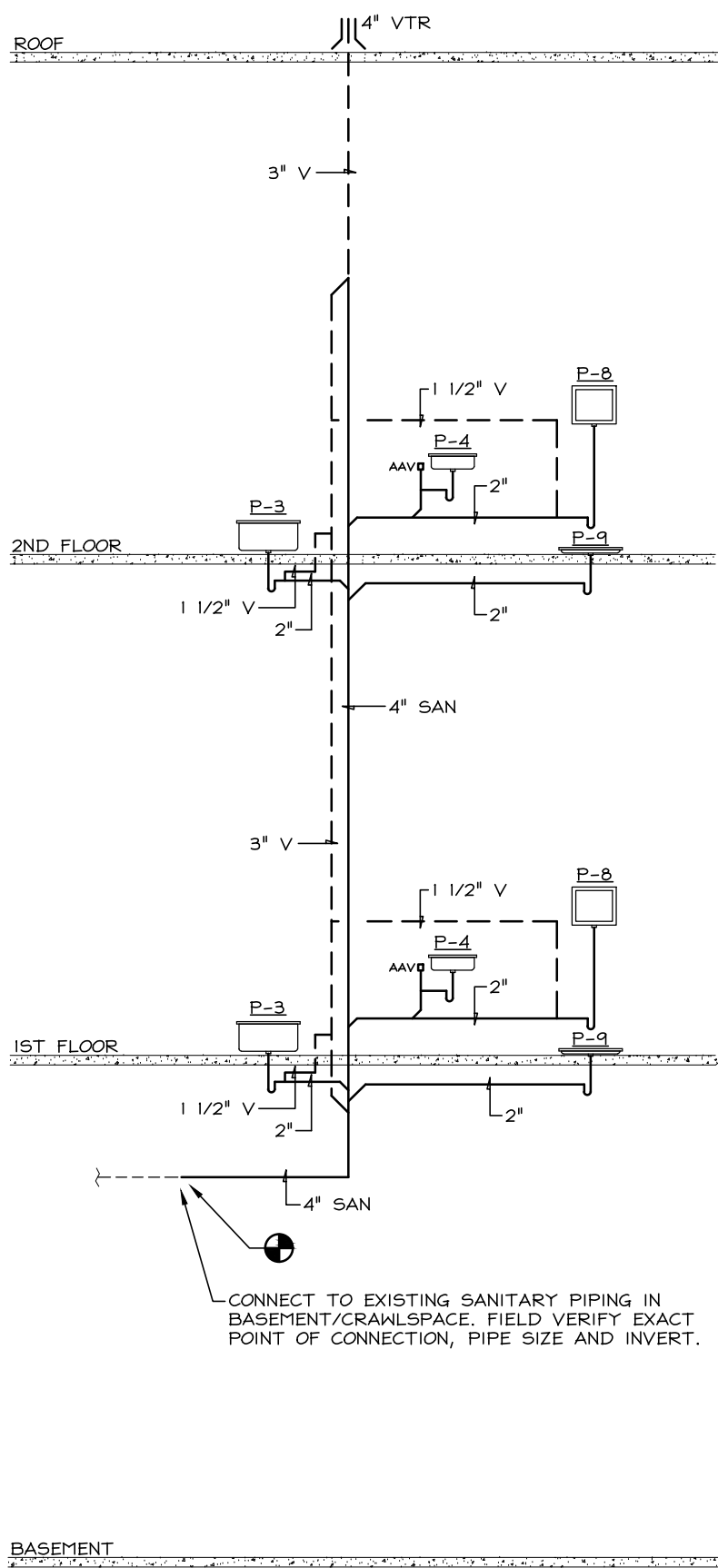
DRAWING NO.	drawn by FJC checked FJC proj. capt. FLM date 03-24-25 proj. nBE522418
P-201	

ISSUE DATE
<b>03-24-25</b>

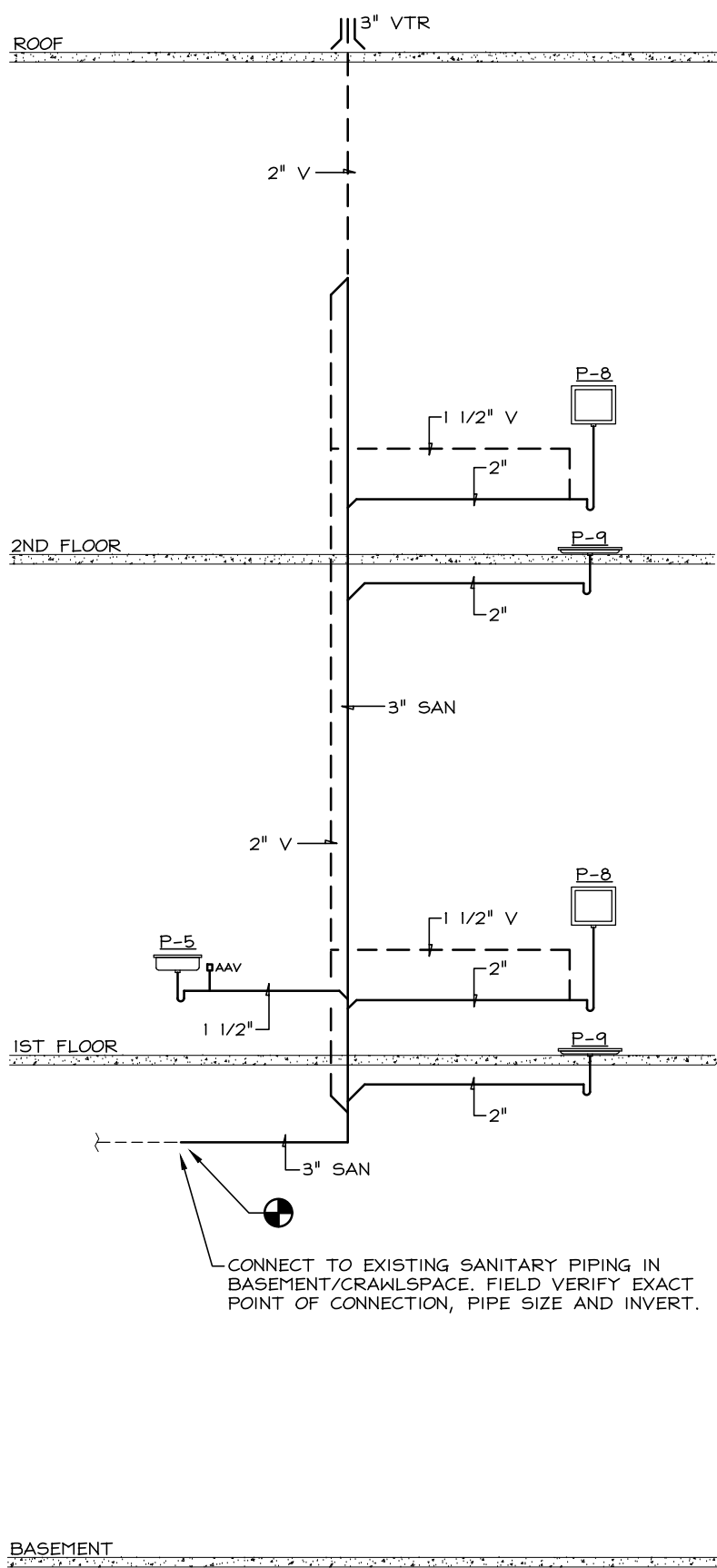




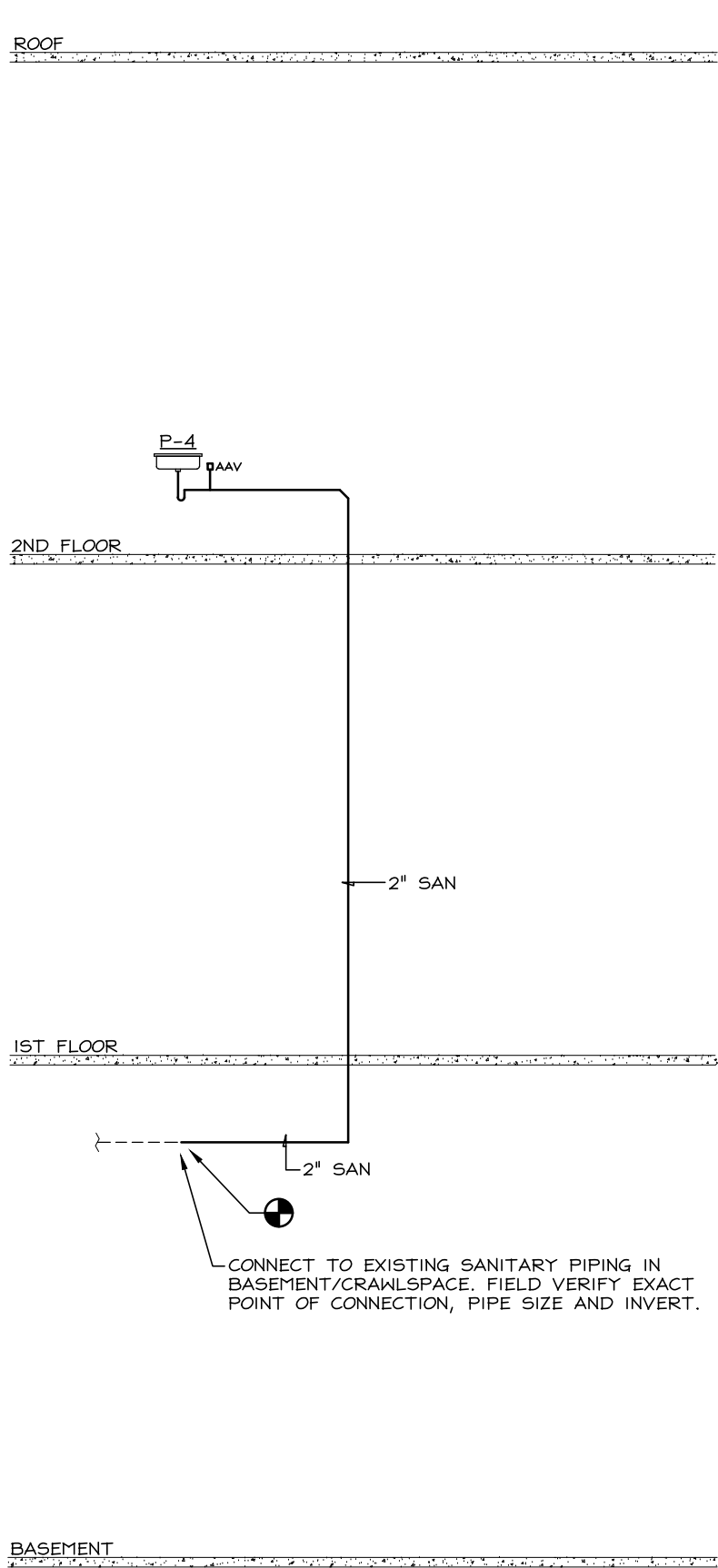
S-1 SANITARY & VENT RISER  
SCALE: NONE



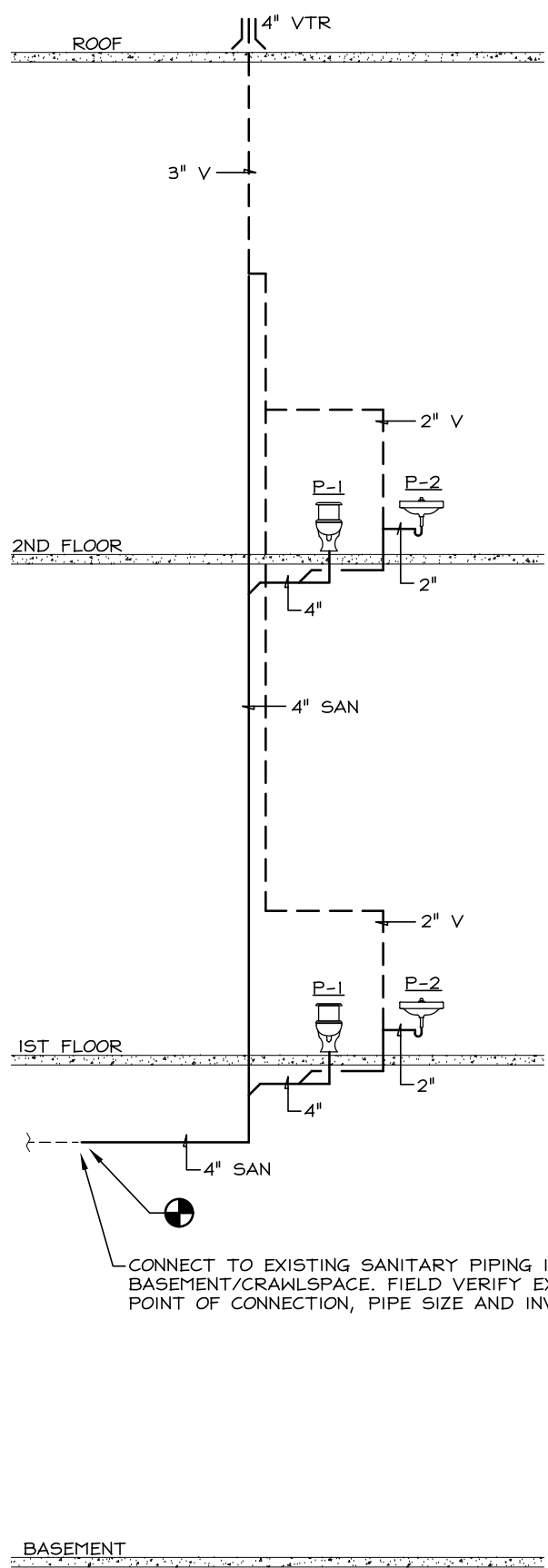
S-2 SANITARY & VENT RISER  
SCALE: NONE



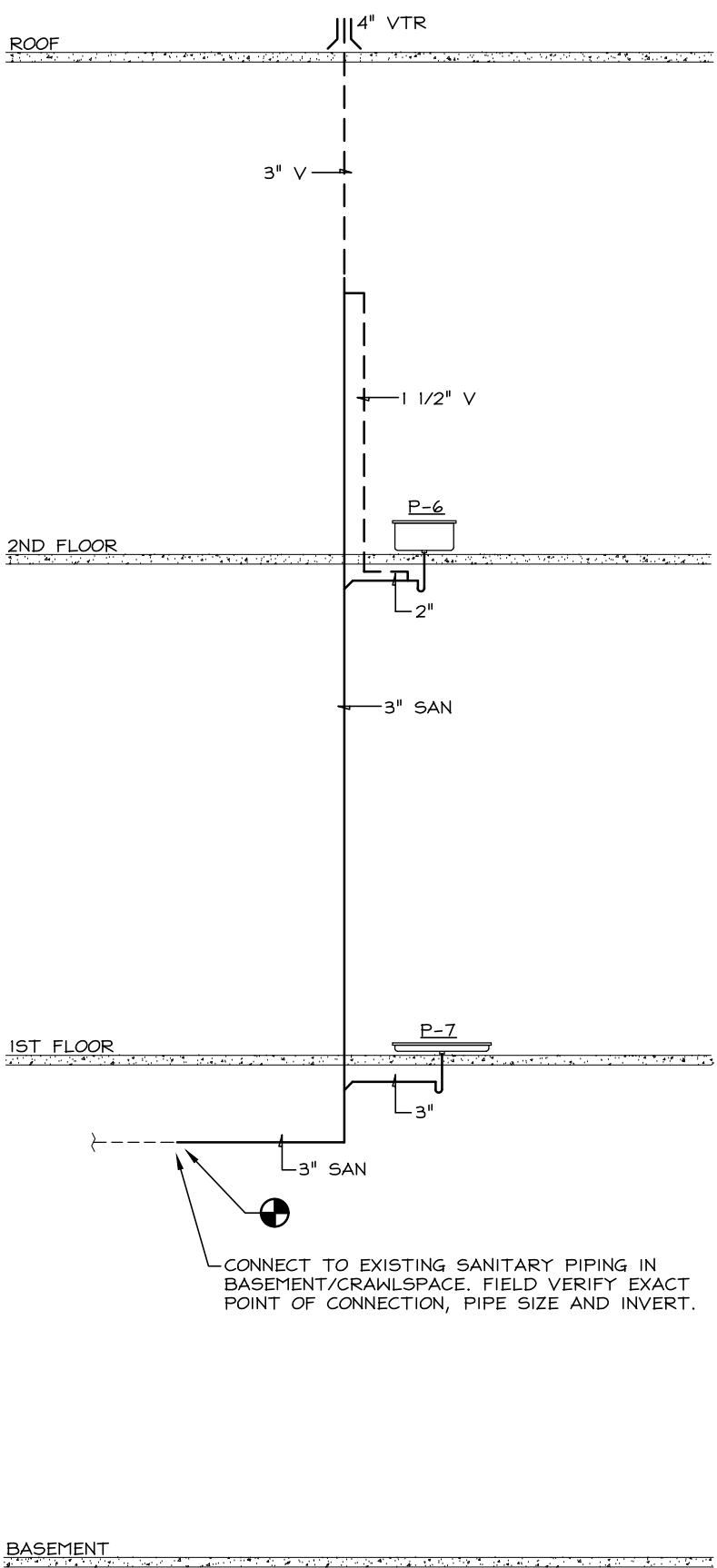
S-3 SANITARY & VENT RISER  
SCALE: NONE



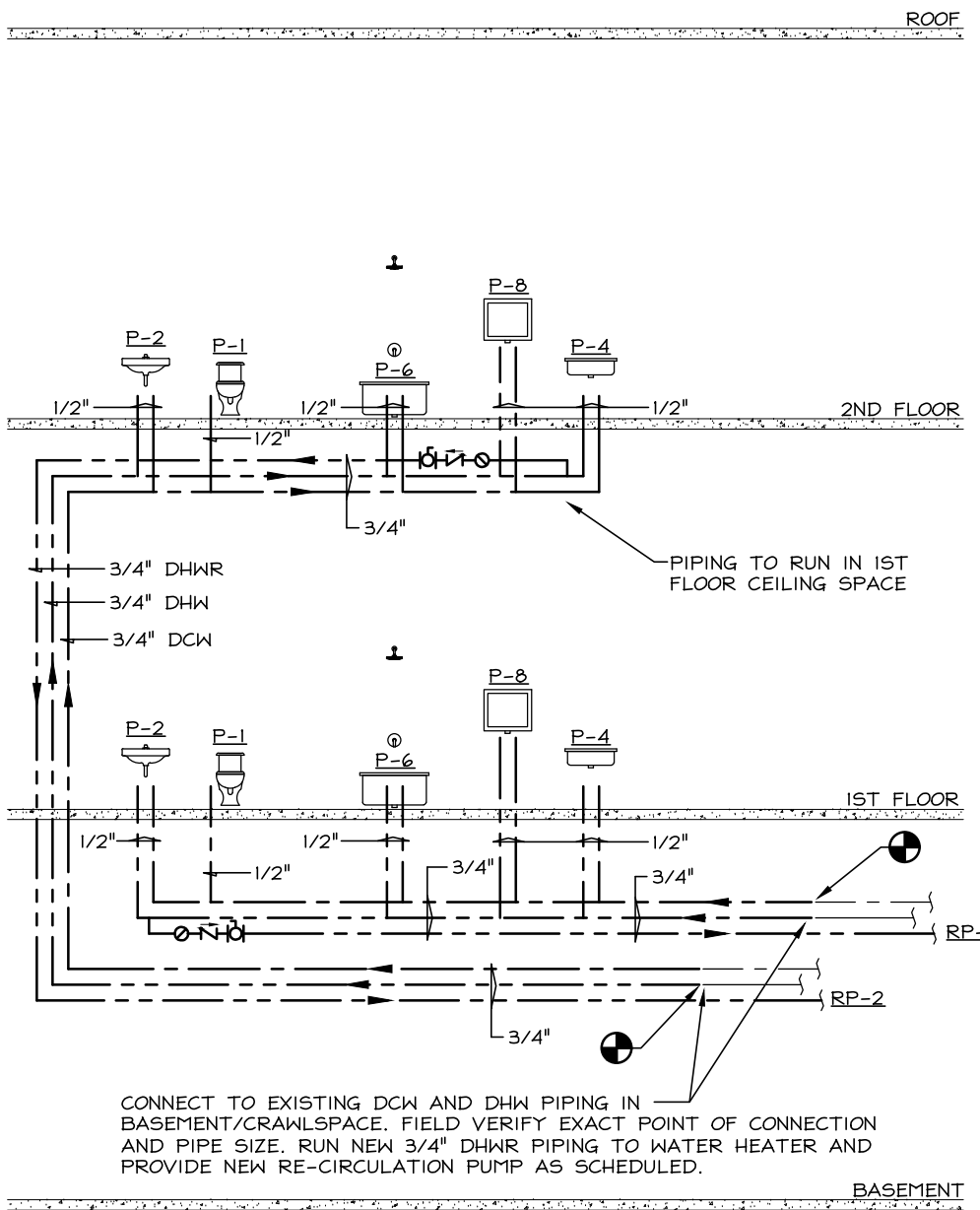
S-4 SANITARY & VENT RISER  
SCALE: NONE



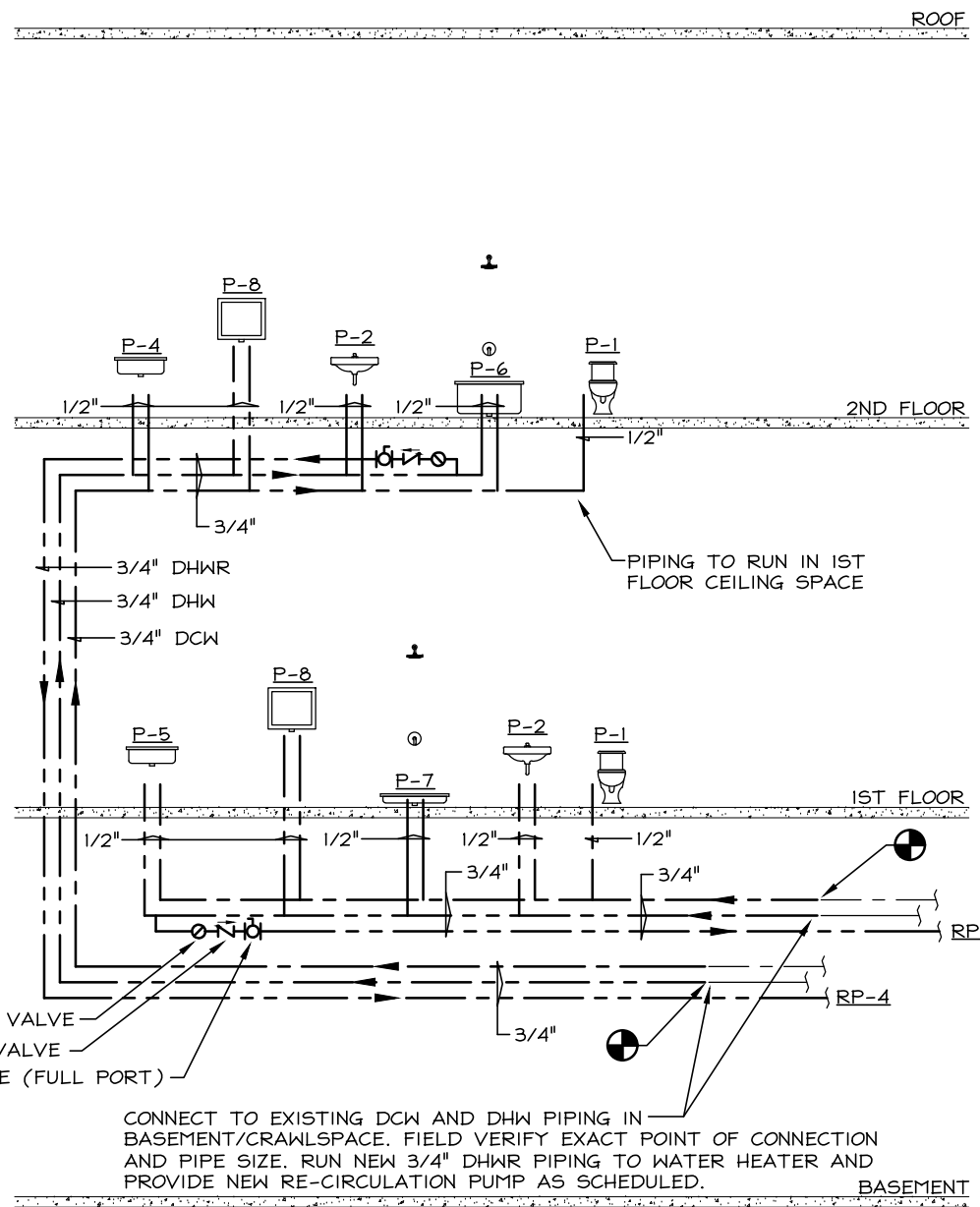
S-5 SANITARY & VENT RISER  
SCALE: NONE



S-6 SANITARY & VENT RISER  
SCALE: NONE



W-1 POTABLE WATER PIPING SCHEMATIC  
SCALE: NONE



W-2 POTABLE WATER PIPING SCHEMATIC  
SCALE: NONE



REVISIONS			
no.	date	by	description
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

PROJECT & CLIENT	
RENOVATIONS TO	
1289-1310	
LEXINGTON AVE.	
ROCHESTER, NY 14606	
BUILDING 2, ENTRANCE 17	
APARTMENTS 17-20	
ROCHESTER HOUSING AUTHORITY	
6 CHRISTOPHER COURT	
ROCHESTER, NY 14606	

DRAWING TITLE	
Plumbing Sanitary/Vent and Potable Water Riser Diagrams	

DRAWING NO.		drawn by	FJC
P-202		checked	FJC
		proj. capt.	FLM
		date	03-24-25
		proj.	nBE522418

ISSUE DATE	
03-24-25	



HVAC SYMBOLS			
—CHWS—	CHILLED WATER SUPPLY PIPING		PUMP
—CHWR—	CHILLED WATER RETURN PIPING		POINT OF DISCONNECT
—PCHWS—	PROCESS CHILLED WATER SUPPLY PIPING		POINT OF RECONNECTION
—PCHWR—	PROCESS CHILLED WATER RETURN PIPING		DUCT RISE (SUPPLY/RETURN/EXHAUST)
—GCHWS—	GLYCOL CHILLED WATER SUPPLY PIPING		DUCT DROP (SUPPLY/RETURN/EXHAUST)
—GCHWR—	GLYCOL CHILLED WATER RETURN PIPING		SPIRAL ROUND DUCTWORK
—CWS—	CONDENSER WATER SUPPLY PIPING		ACoustically LINED DUCTWORK
—CWR—	CONDENSER WATER RETURN PIPING		ELBOW/FITTING W/TURNING VANES
—HWS—	HOT WATER SUPPLY PIPING		RECTANGULAR TO ROUND TRANSITION
—HWR—	HOT WATER RETURN PIPING		HIGH EFFICIENCY TAKEOFF (RECT. TO RECT.)
—GHWS—	GLYCOL HOT WATER SUPPLY PIPING		HIGH EFFICIENCY TAKEOFF (RECT. TO ROUND)
—GHWR—	GLYCOL HOT WATER RETURN PIPING		MANUAL SINGLE BLADE VOLUME DAMPER
—GERS—	GLYCOL ENERGY RECOVERY SUPPLY PIPING		MANUAL MULTI OPPOSED BLADE DAMPER
—GERR—	GLYCOL ENERGY RECOVERY RETURN PIPING		MANUAL MULTI-PARALLEL BLADE DAMPER
—HPST—	HIGH PRESSURE STEAM PIPING (90-100 PSI)		MOTORIZED/CONTROL OPPOSED BLADE DAMPER
—HPC—	HIGH PRESSURE CONDENSATE		FIRE DAMPER (TYPE B) W/ACCESS DOOR
—MPST—	MEDIUM PRESSURE STEAM PIPING (50 PSI)		FIRE/SMOKE DAMPER W/ACCESS DOOR
—MPC—	MEDIUM PRESSURE CONDENSATE		AIRFLOW MEASURING STATION
—LPST—	LOW PRESSURE STEAM PIPING (15 PSI)		DUCT MOUNTED SMOKE DETECTOR
—LPC—	LOW PRESSURE CONDENSATE		THERMOSTAT/TEMPERATURE SENSOR (BMS)
—CS—	CLEAN STEAM PIPING (15 PSI)		HUMIDISTAT/HUMIDITY SENSOR
—CSC—	CLEAN STEAM CONDENSATE		CO SENSOR
—RV—	STEAM RELIEF VENT PIPING		THERMOSTAT (THERMO-FUSER)
—RRV—	REFRIGERANT RELIEF VENT PIPING		SWITCH ON/OFF
—D—	MECHANICAL SYSTEM DRAIN PIPING		SMOKE PURGE ISOLATION DAMPER
—PC—	PUMPED CONDENSATE		FIRE SYSTEM ISOLATION DAMPER
—RS—	REFRIGERANT SUCTION PIPING		SECURITY BARS
—RL—	REFRIGERANT LIQUID PIPING		REMOTE BALANCE DAMPER
—NG—	NATURAL GAS PIPING (4"-14" WC)		
—NG (HP)—	NATURAL GAS PIPING (2.0 PSI)		
—DCW—	DOMESTIC COLD WATER (POTABLE)		
BOD	BOTTOM OF DUCTWORK		
BOP	BOTTOM OF PIPING		
X####	EXISTING EQUIPMENT/PIPE/DUCT/ETC		
AFF	ABOVE FINISHED FLOOR		

GENERAL NOTES		(APPLICABLE TO ALL DRAWINGS)
<p>1. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND INDICATE THE SIZE AND GENERAL ARRANGEMENT OF PIPING, DUCTWORK, EQUIPMENT, AND SPECIALTIES. MINOR ADJUSTMENTS TO LOCATIONS AND ROUTINGS SHOWN SHALL BE DETERMINED IN THE FIELD BEFORE AND AS THE WORK PROGRESSES.</p> <p>2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF ANY WORK OR SHOP FABRICATION. ANY REQUIRED CHANGES TO WORK SHOWN ON DRAWINGS SHALL BE COORDINATED WITH ARCHITECT/ENGINEER AND OTHER TRADES PRIOR TO CONSTRUCTION.</p> <p>3. DRAWINGS DO NOT INDICATE ALL OFFSETS, CHANGES IN ELEVATION, ETC. WHICH MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL PROVIDE FOR SUCH CHANGES IN PIPING, DUCTWORK, OR EQUIPMENT LOCATIONS AS NECESSARY TO ACCOMMODATE FIELD CONDITIONS AND THE WORK OF OTHER CONTRACTS.</p> <p>4. THE WORK INCLUDED IN THIS CONTRACT ENCOMPASSES BOTH THE DRAWINGS AND SPECIFICATIONS. WORK INCLUDED ON THE DRAWINGS ONLY, OR IN THE SPECIFICATIONS ONLY, SHALL BE INCORPORATED AS IF INCLUDED IN BOTH. SYSTEMS ARE INTENDED TO BE COMPLETE AND FULLY FUNCTIONING. THE CONTRACTOR SHALL PROVIDE SUCH COMPONENTS AS NECESSARY FOR A FULLY FUNCTIONING SYSTEM.</p> <p>5. COORDINATE THE WORK OF THIS CONTRACT WITH THE WORK OF OTHER CONTRACTS. COORDINATE WITH GENERAL CONTRACTOR FOR ALL ROOF/FLOOR PENETRATIONS, SOFFITS, CHASES, AND PADS.</p> <p>6. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT HVAC CEILING EQUIPMENT LOCATIONS/COORDINATION. REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION AND DEMOLITION PHASING COORDINATE ALL EQUIPMENT SHUTDOWNS AND DEMOLITION WITH PROJECT PHASING.</p> <p>7. PHASE INSTALLATION OF EQUIPMENT, PIPING, AND DUCTWORK TO ENSURE CONSTRUCTABILITY, AND THAT CONSTRUCTION PROCEEDS IN AN EFFICIENT, ORGANIZED, AND ORDERLY MANNER. PIPING TO BE SLOPED SHALL TAKE PRECEDENCE OVER PRESSURE PIPING, DUCTWORK AND EQUIPMENT LOCATIONS.</p> <p>8. SEAL ALL PIPING AND DUCT PENETRATIONS IN ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE AND NFPA.</p> <p>9. INSTALL ALL PIPING, DUCTWORK, EQUIPMENT, AND SPECIALTIES TO ALLOW MAXIMUM CLEARANCE AND AVOID INTERFERENCE WITH THE OPERATION AND MAINTENANCE OF ALL EQUIPMENT, NEW OR EXISTING. DO NOT INSTALL ANYTHING ABOVE OR WITHIN 3 FT. IN FRONT OF ELECTRICAL GEAR.</p> <p>10. PROVIDE HINGED ACCESS DOORS OR PANELS WHETHER SHOWN OR NOT FOR ACCESS TO ALL DAMPERS, FILTERS, COILS, FANS, VALVES, OR ANY SERVICEABLE EQUIPMENT WHICH IS NOT READILY ACCESSIBLE. ACCESS DOORS AND PANELS INSTALLED IN FINISHED WALLS OR CEILINGS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL SPECIFICATIONS. ACCESS DOORS INSTALLED IN DUCTWORK SHALL BE IN ACCORDANCE WITH SPECIFICATIONS.</p> <p>11. MECHANICAL CONTRACTOR SHALL PROVIDE NECESSARY SUPPORT FRAMING, STIFFENERS, BRACING, AND HANGERS WHETHER SHOWN OR NOT TO ENSURE A COMPLETE AND DURABLE SYSTEM. SUPPORT FRAMING CONNECTIONS SHALL BE WELDED UNLESS SPECIFICALLY SHOWN OTHERWISE. ACTUAL SUPPORTS MAY VARY FROM THOSE SHOWN IN DETAILS AS REQUIRED BY ACTUAL EQUIPMENT FURNISHED OR FIELD CONDITIONS.</p> <p>12. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTION MANUAL OR MANUFACTURER'S REPRESENTATIVE'S WRITTEN INSTRUCTIONS.</p> <p>13. ABOVE FINISH FLOOR (AFF) DIMENSIONS SHOWN ON DRAWINGS INDICATE CLEAR DIMENSIONS FROM FINISH FLOOR (FF) TO BOTTOM OF EQUIPMENT/DUCT/PIPE UNLESS INDICATED OTHERWISE.</p> <p>14. DUCT DIMENSIONS SHOWN ON DRAWINGS ARE SHOWN AS "SIDE SEEN" X "SIDE NOT SEEN" AND INDICATE CLEAR INSIDE DIMENSIONS.</p> <p>15. ALL DUCTWORK AND HANGERS SHALL BE CONSTRUCTED ACCORDING TO SMACNA STANDARDS AND CLASSIFICATIONS. PROVIDE SINGLE THICKNESS TURNING VANES IN 90° SQUARE/RECTANGULAR ELBOWS. ALL ROUND DUCTWORK SHALL BE SPIRAL ONLY, WITH STAMPED FITTINGS, TAKEOFFS, ELBOWS, ETC. PROVIDE MANUAL DAMPERS IN ALL DUCT BRANCH TAKE OFFS WHETHER SHOWN OR NOT. DAMPERS OVER 12" EQUIVALENT DIAMETER SHALL BE OPPOSED BLADE TYPE. PROVIDE SLEEVES AT ALL DUCTWORK PENETRATIONS AT WALLS, CEILINGS, FLOORS, PARTITIONS, ETC. PROVIDE ANGLE CLOSURES ON BOTH SIDES OF PENETRATIONS AND SEAL WITH FIRE CAULK. BRANCH DUCTS AND SLEEVES TO REGISTERS SHALL BE THE SAME SIZE AS THE NOMINAL REGISTER SIZE UNLESS INDICATED OTHERWISE. ALL DUCTWORK TRANSITIONS TO BE TOP TO TOP WHEN DOWN CONVEYED WHEN POSSIBLE. PROVIDE ALL ADDITIONAL TRANSITIONS, RISERS, OFFSETS, ETC. AS REQUIRED FOR INSTALLATION OF NEW DUCTWORK AND EQUIPMENT FOR COORDINATION WITH OTHER TRADES.</p> <p>16. MAXIMUM ALLOWABLE FLEXIBLE DUCT LENGTH IS 4'-0" FOR AIR DEVICE CONNECTION. PROVIDE MINIMUM OF THREE (3) DUCT DIAMETERS OF STRAIGHT LENGTH AT INLET TO VAV BOXES. PROVIDE MANUAL VOLUME DAMPERS AT ALL SUPPLY DIFFUSER AND RETURN/EXHAUST REGISTER TAKEOFFS. PROVIDE RIBBON IDENTIFIER AT ALL MANUAL VOLUME/BALANCING DAMPER LOCATIONS.</p>		

GENERAL DEMOLITION NOTES		(APPLICABLE TO ALL DRAWINGS)
<p>1. MECHANICAL CONTRACTOR IS RESPONSIBLE TO PROPERLY DRAIN OR DISCHARGE MECHANICAL SYSTEMS PRIOR TO START OF DEMOLITION. COORDINATE WITH OWNER AND ALL APPLICABLE CODES FOR WASTE FLUID DISPOSAL.</p> <p>2. COORDINATE DEMOLITION WORK OF THIS CONTRACT WITH WORK OF OTHER CONTRACTS AND THE OWNER. COORDINATE WITH ASBESTOS ABATEMENT CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK.</p> <p>3. MECHANICAL CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL PIPE &amp; DUCTWORK ROUTINGS, SIZES AND ELEVATIONS.</p> <p>4. EXISTING UTILITIES/SYSTEMS TO REMAIN ARE SHOWN LIGHT SOLID. EQUIPMENT/UTILITIES TO BE REMOVED ARE SHOWN HEAVY DASHED OR HATCHED.</p> <p>5. COORDINATE ALL SHUTDOWN AND DRAINAGE OF MECHANICAL SYSTEMS WITH OWNER.</p> <p>6. COMPLETELY REMOVE ABANDONED PIPING, DUCTWORK, OR EQUIPMENT. BRANCH WORK TO BE DEMOLISHED SHALL BE COMPLETELY REMOVED BACK TO POINT OF DISCONNECTION.</p> <p>7. BLANK OFF, PLUG, OR CAP BRANCH PIPING OR DUCTWORK TO BE DEMOLISHED AT THE POINT OF DISCONNECTION FROM MAIN.</p> <p>8. REMOVE COMPLETELY ALL PIPE HANGERS, STRAPS, CLAMPS, SUPPORTS AND PADS ASSOCIATED WITH DUCTWORK, PIPING, OR EQUIPMENT BEING DEMOLISHED.</p> <p>9. REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION AND DEMOLITION PHASING. COORDINATE ALL EQUIPMENT SHUTDOWNS AND DEMOLITION WITH PROJECT PHASING.</p> <p>10. ALL ELECTRICAL POWER HIRING DISCONNECT AND REMOVAL OF MECHANICAL EQUIPMENT IS THE RESPONSIBILITY OF DIVISION 26. MECHANICAL CONTRACTOR SHALL REMOVE ALL LOW VOLTAGE CONTROL WIRING, SENSORS, THERMOSTATS, ETC AND RACEWAY.</p>		

FAN COIL UNIT SCHEDULE													
		SUPPLY			SUPPLY FAN			TOTAL SENS. CAP	COOLING COIL		HEATING COIL		FILTER
ID	LOCATION	SERVES	FAN CFM	GA IN KG	ESP. F. RPM	MOTOR HP	VOLTS/PH		MEDIUM	TOTAL CAPACITY	MEDIUM	EFFICIENCY	
FCU-1	SEE PLANS	HP-1	392	-	-	0.23A	208/1	12.0/	R-32	??	R-32	-	-
FCU-2B3	SEE PLANS	HP-1	332	-	-	0.20A	208/1	7.0/	R-32	??	R-32	-	-
FCU-4	SEE PLANS	HP-2	302	-	-	0.23A	208/1	12.0/	R-32	??	R-32	-	-
FCU-5	SEE PLANS	HP-2	332	-	-	0.20A	208/1	7.0/	R-32	??	R-32	-	-
FCU-6	SEE PLANS	HP-3	392	-	-	0.23A	208/1	12.0/	R-32	??	R-32	-	-
FCU-7B	SEE PLANS	HP-3	332	-	-	0.20A	208/1	7.0/	R-32	??	R-32	-	-
FCU-9	SEE PLANS	HP-4	392	-	-	0.23A	208/1	12.0/	R-32	??	R-32	-	-
FCU-10	SEE PLANS	HP-4	332	-	-	0.20A	208/1	7.0/	R-32	??	R-32	-	-

- (1) PROVIDE WITH EXTERNAL CONDENSATE PUMP.  
(2) PROVIDE WITH WIRED REMOTE CONTROLLER KIT WITH 25FT. CABLE.  
(3) COORDINATE REFRIGERANT LINE SIZING PER MANUFACTURER'S RECOMMENDATIONS.  
(4) MANUFACTURER TO PROVIDE ALL REFRIGERATION ACCESSORIES INCLUDING VALVES, FILTERS, ETC., TO BE INSTALLED BY MECHANICAL CONTRACTOR.  
(5) PROVIDE WITH MATCHING HEAT PUMP UNIT SCHEDULED.

MULTI-HEAD AIR COOLED HEAT PUMP SCHEDULE											
ID	LOCATION	SERVES	TTL. CLG. CAP MBH	TTL. HTG. CAP MBH	OUTDOOR TEMP. DB	REFRIGERANT	COMPRESSORS NUMBER	SEER	REFRIGERANT CIRCUITS	CONDENSER FAN NUMBER	VOLTS/PH
HP-1	SEE PLAN	FCU-1,2B3	24.0	24.0	9%	R-32	1	18.0	3	1	208/1
HP-2	SEE PLAN	FCU-4B5	18.0	18.4	9%	R-32	1	18.0	2	1	208/1
HP-3	SEE PLAN	FCU-6,7B	24.0	24.0	9%	R-32	1	18.0	3	1	208/1
HP-4	SEE PLAN	FCU-9,10	18.0	18.4	9%	R-32	1	18.0	2	1	208/1

- (1) PROVIDE WITH MATCHING FAN COIL UNIT.  
(2) PROVIDE INTEGRAL AIR VENT.  
(3) PROVIDE WITH DRAIN PAN HEATER & ELECTRICAL DISCONNECT.  
(4) HEAT PUMPS TO BE MOUNTED ON 1'-4" HIGH EQUIPMENT STAND. CONDENSING UNIT SHALL BE PERMANENTLY ATTACHED TO EQUIPMENT STAND & EQUIPMENT STAND SHALL BE PERMANENTLY ATTACHED TO 4" HOUSEKEEPING PAD WITH EPOXY AND BOLTS.

EXHAUST FAN SCHEDULE											
ID	SERVES	LOCATION	TYPE	DRIVE	CFM	EXT. SP. IN. HG.	FAN RPM	HP	VOLTAGE	MAXIMUM DUCT CONNECTION SIZES INCHES	MANUFACTURER
EF-1	APT. BATHROOMS	CEILING	CENT.	DIRECT	100	0.30	960	1/4	120/1	2.0	-
EF-2	APT. BATHROOMS	CEILING	CENT.	DIRECT	100	0.30	960	1/4	120/1	2.0	-
EF-3	APT. BATHROOMS	CEILING	CENT.	DIRECT	100	0.30	960	1/4	120/1	2.0	-
EF-4	APT. BATHROOMS	CEILING	CENT.	DIRECT	100	0.30	960	1/4	120/1	2.0	-

- (1) PROVIDE WITH ROOF JACK AND VIBRATION ISOLATION KIT.  
(2) FAN CONTROLLED BY LIGHT SWITCH.

HOT WATER RADIATOR SCHEDULE (6) PROVIDE ALTERNATE PRICING TO PROVIDE RUNTAL THERMO-TOUCH IN LIEU OF RF-3											
ID	LOCATION	TUBE SIZE IN.	HEIGHT/DEPTH IN.	LENGTH FT.	EAT DEG. F.	AMT. DEG. F.	FLUID BTU/FT	HEAT CAP. BTU/FT	MANUFACTURER	REMARKS	
RAD-A	SEE PLANS	1/2"	8.625"x9"	16'	65	165	WATER	656	RUNTAL RF-3	(1)(2)(3)(4)(5)	
RAD-B	SEE PLANS	1/2"	8.625"x9"	8'	65	165	WATER	656	RUNTAL RF-3	(1)(2)(3)(4)(5)	
RAD-C	SEE PLANS	1/2"	8.625"x9"	4'	65	165	WATER	656	RUNTAL RF-3	(1)(2)(3)(4)(5)	
RAD-D	SEE PLANS	1/2"	8.625"x9"	2'	65	165	WATER	656	RUNTAL RF-3	(1)(2)(3)(4)(5)	

- (1) PROVIDE WALL TO WALL RADIATOR AND ENCLOSURE, END CAPS, WALL BRACKETS, AND STANDARD CONSTRUCTION.  
(2) PROVIDE INTEGRAL AIR VENT.  
(3) RADIATOR LENGTHS SHALL BE FIELD MEASURED.  
(4) STANDARD WHITE COLOR.  
(5) BALANCE RADIATOR FLOW PER THE FOLLOWING EQUATION: GPM = ((ACTIVE LENGTH X HEAT CAPACITY PER FT.)/15,000)

HVAC PIPING SCHEDULE											
NTS CLIMATE ZONE #5A											
SYSTEM/SERVICE	ID	TEMP.	LOCATION	PIPE SIZE INCHES	MATERIAL	JOINT/FITTINGS	TYPE	PIPE SIZE INCHES	INSULATION CONDUCTIVITY BTU/IN-HR-FT-2	MIN. THICKNESS INCHES	NOTES
HEATING HOT WATER	HNHSR	141-200	CONCEALED IN ABOVE CEILINGS/HALLS	1/2"-1"	TYPE L COPPER SCHD. 40 STEEL	WELDED/THREADED/PRESS-FIT/GROOVED	PRE-FORM FIBERGLASS	1/2"-1 1/4"	0.25-0.29	1 1/2"	NONE
								1 1/2"-4"	0.25-0.29	2"	NONE
	HNHSR	141-200	EXPOSED TO VIEW/HIGH RPM/BASEMENT	1/2"-1"	TYPE L COPPER SCHD. 40 STEEL	WELDED/THREADED/PRESS-FIT/GROOVED	PRE-FORM FIBERGLASS	1/2"-1 1/4"	0.25-0.29	1 1/2"	PVC
								1 1/2"-4"	0.25-0.29	2"	PVC
DRAINS	D	-	ABOVE GROUND	1/2"-2"	DNV COPPER	SOLDERED	-	-	-	-	-
REFRIGERANT PIPING	RS,RL		CONCEALED IN ABOVE CEILINGS/HALLS	ALL SIZES	ACR COPPER	CAPPED/SEALED, BRAZED	FLEXIBLE ELASTOMERIC	ALL SIZES	0.20-0.26	1"	NONE
			EXPOSED TO VIEW/HIGH RPM/EXTERIOR	ALL SIZES	ACR COPPER	CAPPED/SEALED, BRAZED	FLEXIBLE ELASTOMERIC	ALL SIZES	0.20-0.26	1"	PVC

DUCTWORK SCHEDULE											
CLIMATE ZONE #5A											
SYSTEM	SERVICE	LOCATION	TYPE	MATERIAL	PRESSURE CLASS	SEAL CLASS	TYPE	MIN. R-VALUE	MIN. DENSITY	MIN. THICKNESS	NOTES
EF-1,2,3,4	EXHAUST	CONCEALED ABOVE CEILING/WALL	SINGLE WALL	SPIRAL/RECTANGULAR GALVANIZED	-2"	A	BLANKET	R-6	1.0 LB/CU FT.	2"	FACTORY - ALUMINUM FOIL FACED (1)(2)
DRYER	EXHAUST	CONCEALED ABOVE CEILING/WALL	SINGLE WALL	SNAP LOCK ROUND NO FASTENERS	-2"	A	FIRE WRAP	1 HR. RATING	8.0 LB/CU FT.	1/2"	FTYREARPS DPS (3)

- (1) FORMALDEHYDE FREE, FSK VAPOR BARRIER  
(2) PROVIDE INSULATION ON FINAL 10'-0" OF DUCT TO EXHAUST FAN TERMINATION.  
(3) INSULATE ALL DRYER VENT DUCT FROM DRYER BOX TO ROOF TERMINATION.



REVISIONS		
no.	date	by description
△		
△		
△		
△		
△		
△		
△		
△		
△		
△		



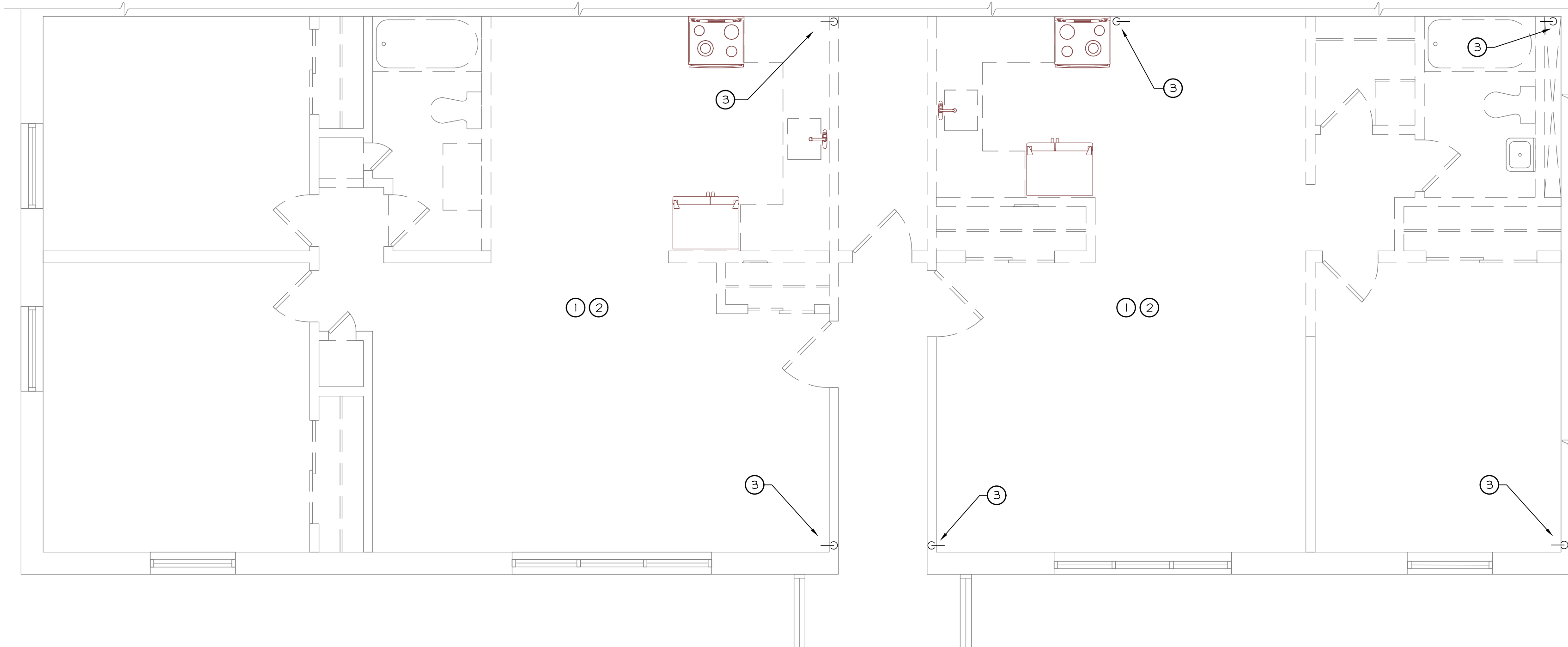
**PICARD  
ENGINEERING**

Engineering, Consulting and Design

P.O. Box 23791  
3159 Winton Road South  
Rochester, New York 14692  
Tel: 585.292.6060  
Fax: 585.292.6064  
E-mail: info@picardeng.com



THESE DOCUMENTS AND ALL IDEAS, MECHANISMS, DESIGNS  
AND PLANS INDICATED HEREON OR REPRESENTED BY ARE  
OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE  
& ASSOCIATES AND NO PART THEREOF SHALL BE UTILIZED BY  
ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE  
WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION  
OF PETER L. MORSE & ASSOCIATES. ALL RIGHTS RESERVED. ©

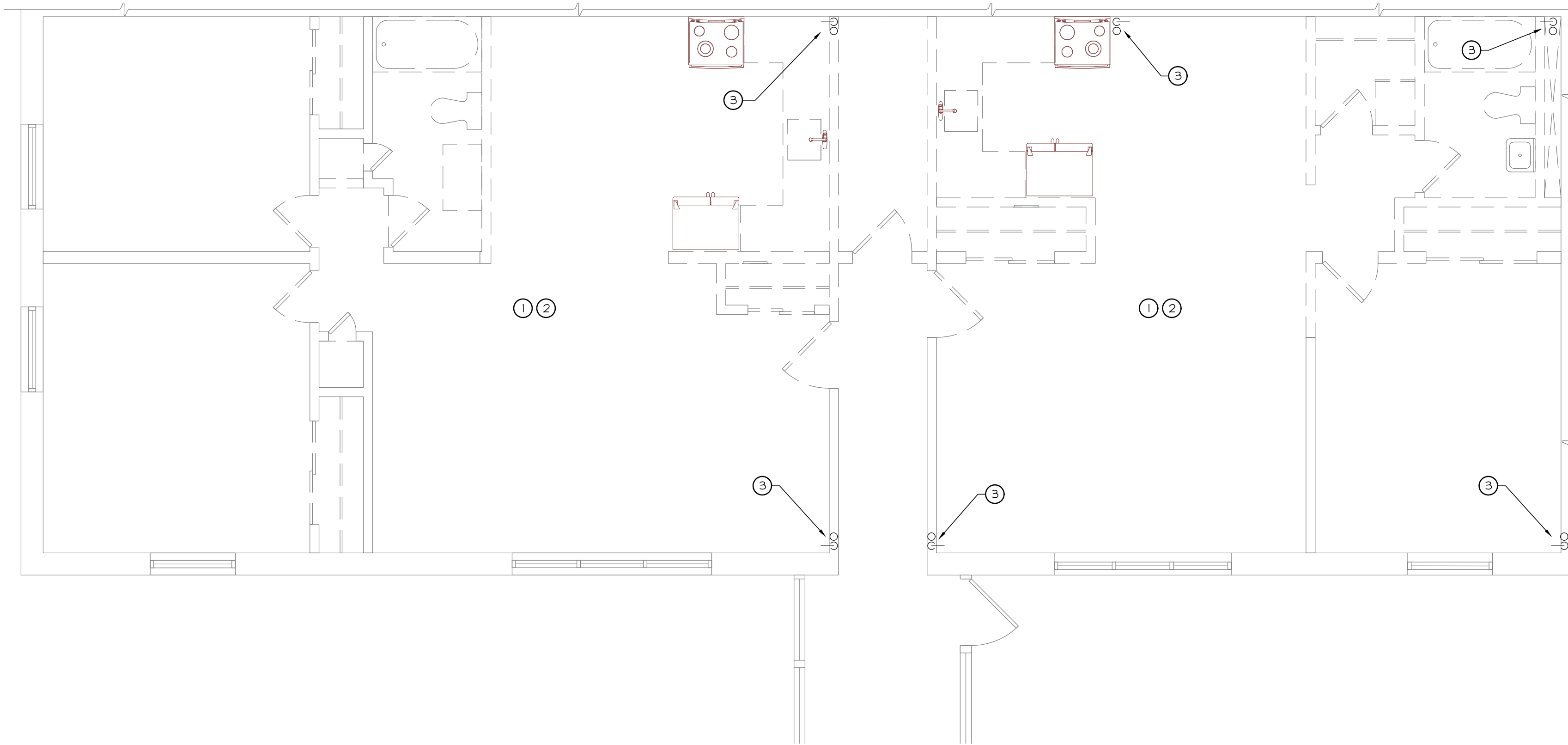


**PARTIAL 2nd FLOOR HVAC PLAN**  
SCALE: 1/4"=1'-0"



**KEY NOTES:**

- 1 REMOVE ALL EXISTING HEATING SYSTEMS IN THEIR ENTIRETY INCLUDED BUT NOT LIMITED TO PIPING, VALVING, CONTROLS, FIN/TUBE, HANGERS, SUPPORTS WITHIN THE APARTMENT. IT IS THE INTENT THAT ALL NEW SYSTEMS WILL BE PROVIDED. (TYPICAL)
- 2 REMOVE ALL EXISTING EXHAUST SYSTEMS IN THEIR ENTIRETY INCLUDED BUT NOT LIMITED TO EXHAUST FANS, DUCTWORK, INSULATION, ROOF EXITS, CONTROLS, HANGERS, SUPPORTS WITHIN THE APARTMENT. IT IS THE INTENT THAT ALL NEW SYSTEMS WILL BE PROVIDED. (TYPICAL)
- 3 REMOVE EXISTING HEATING HOT WATER PIPING RISERS SERVING THE FIRST AND SECOND FLOOR APARTMENT DOWN TO THE BASEMENT/CRAWLSPACE. IT IS THE INTENT TO REMOVE ALL EXISTING PIPING TO THE BASEMENT/CRAWLSPACE AND REPLACE WITH NEW FROM THE POINT OF DISCONNECT. FIELD VERIFY EXACT POINT OF DISCONNECT WITHIN THE BASEMENT/CRAWLSPACE AND TEMPORARILY CAP. THE EXISTING BOILER SYSTEM AND DISTRIBUTION SHALL REMAIN AND BE RECONNECTED TO THE APARTMENTS.



**PARTIAL 1st FLOOR HVAC PLAN**  
SCALE: 1/4"=1'-0"



**KEY NOTES:**

- 1 REMOVE ALL EXISTING HEATING SYSTEMS IN THEIR ENTIRETY INCLUDED BUT NOT LIMITED TO PIPING, VALVING, CONTROLS, FIN/TUBE, HANGERS, SUPPORTS WITHIN THE APARTMENT. IT IS THE INTENT THAT ALL NEW SYSTEMS WILL BE PROVIDED. (TYPICAL)
- 2 REMOVE ALL EXISTING EXHAUST SYSTEMS IN THEIR ENTIRETY INCLUDED BUT NOT LIMITED TO EXHAUST FANS, DUCTWORK, INSULATION, ROOF EXITS, CONTROLS, HANGERS, SUPPORTS WITHIN THE APARTMENT. IT IS THE INTENT THAT ALL NEW SYSTEMS WILL BE PROVIDED. (TYPICAL)
- 3 REMOVE EXISTING HEATING HOT WATER PIPING RISERS SERVING THE FIRST AND SECOND FLOOR APARTMENT DOWN TO THE BASEMENT/CRAWLSPACE. IT IS THE INTENT TO REMOVE ALL EXISTING PIPING TO THE BASEMENT/CRAWLSPACE AND REPLACE WITH NEW FROM THE POINT OF DISCONNECT. FIELD VERIFY EXACT POINT OF DISCONNECT WITHIN THE BASEMENT/CRAWLSPACE AND TEMPORARILY CAP. THE EXISTING BOILER SYSTEM AND DISTRIBUTION SHALL REMAIN AND BE RECONNECTED TO THE APARTMENTS.

**REVISIONS**

no.	date	by	description
△			
△			
△			
△			
△			
△			
△			
△			
△			

**PROJECT & CLIENT**

**RENOVATIONS TO**

**1289-1310  
LEXINGTON AVE.  
ROCHESTER, NY 14606**

**BUILDING 2, ENTRANCE 17  
APARTMENTS 17-20**

**ROCHESTER HOUSING AUTHORITY  
6 CHRISTOPHER COURT  
ROCHESTER, NY 14606**

**DRAWING TITLE**

HVAC Demolition Plans

**DRAWING NO.**

HD-200

drawn by FJC  
checked FJC  
proj. capt. FLM  
date 03-24-25  
proj. nBE522418

**ISSUE DATE**

**03-24-25**



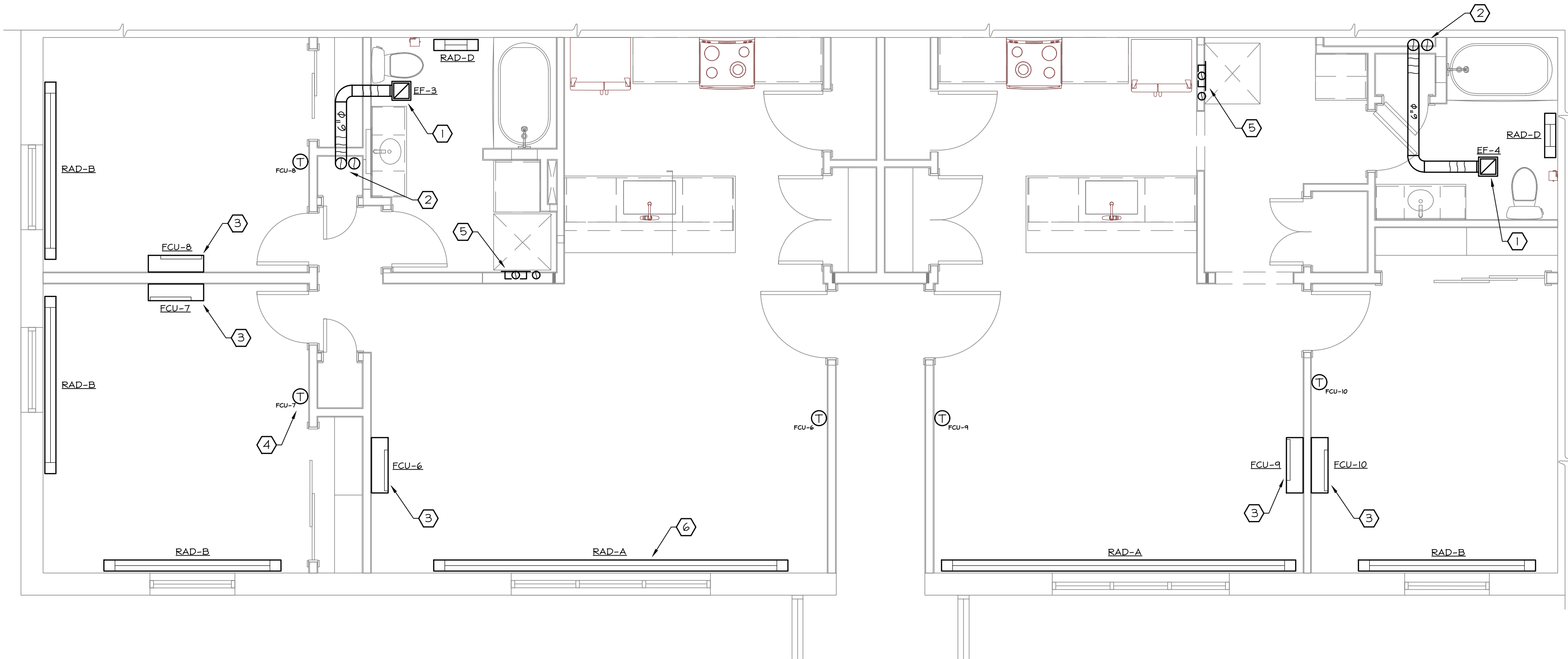
**PICARD  
ENGINEERING**

Engineering, Consulting and Design

P.O. Box 23791  
3159 Wharton Road South  
Rochester, New York 14692  
Tel: 585.292.6060  
Fax: 585.292.6064  
E-mail: info@picardeng.com



THESE DOCUMENTS AND ALL IDEAS, MECHANISMS, DESIGNS  
AND PLANS INDICATED HEREON OR REPRESENTED BY ARE  
OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE  
& ASSOCIATES AND NO PART THEREOF SHALL BE UTILIZED BY  
ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSES  
WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION  
OF PETER L. MORSE & ASSOCIATES. ALL RIGHTS RESERVED. ©

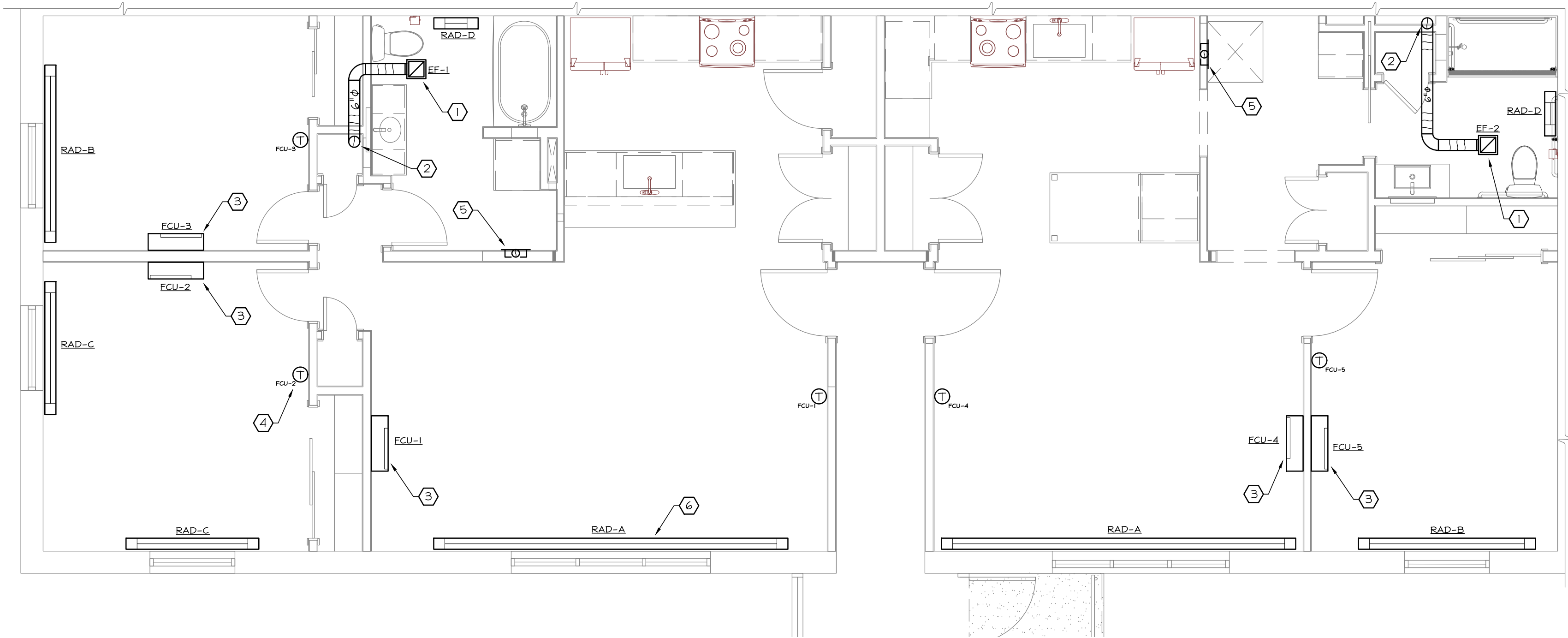


PARTIAL 2nd FLOOR HVAC PLAN  
SCALE: 1/4"=1'-0"



**KEY NOTES:**

- CEILING MOUNTED EXHAUST FAN; FAN TO INTERLOCKED WITH LIGHT SWITCH BY ELECTRICAL CONTRACTOR. (TYPICAL.)
- TWO (2) 6" TOILET EXHAUST DUCTS UP TO ROOF WITH INDEPENDENT ROOF JACK; OFFSET AS REQUIRED.
- WALL MOUNTED FAN COIL UNIT; MOUNT AT 7'-6" AFF TO BOTTOM.
- MOUNT FAN COIL THERMOSTAT 5'-0" AFF. (TYPICAL)
- RECESSED 4" DRYER VENT "DRYERBOX" MODEL 425. PROVIDE ONE (1) HOUR FIRE WRAP (1/2" FyreWRAP DPS) ON ALL DRYER VENT DUCTWORK. TWO (2) 4" DRYER VENTS UP TO ROOF WITH INDEPENDENT GOOSE NECK WITH CAGED OUTLET (ROOFGOOSEVENT RG4).
- NEW HOT WATER RADIATOR; SEE PIPING PLAN FOR PIPING AND VALVING. (TYPICAL)



PARTIAL 1st FLOOR HVAC PLAN  
SCALE: 1/4"=1'-0"



**KEY NOTES:**

- CEILING MOUNTED EXHAUST FAN; FAN TO INTERLOCKED WITH LIGHT SWITCH BY ELECTRICAL CONTRACTOR. (TYPICAL)
- 6" TOILET EXHAUST DUCT UP IN CHASE TO 2ND FLOOR.
- WALL MOUNTED FAN COIL UNIT. MOUNT AT 7'-6" AFF TO BOTTOM.
- MOUNT FAN COIL THERMOSTAT 5'-0" AFF. (TYPICAL)
- RECESSED 4" DRYER VENT "DRYERBOX" MODEL 425; 4" DRYER VENT UP IN HALL TO 2ND FLOOR. PROVIDE ONE (1) HOUR FIRE WRAP (1/2" FyreWRAP DPS) ON ALL DRYER VENT DUCTWORK.
- NEW HOT WATER RADIATOR; SEE PIPING PLAN FOR PIPING AND VALVING. (TYPICAL)

REVISIONS			
no.	date	by	description
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

PROJECT & CLIENT	
RENOVATIONS TO	
<b>1289-1310</b>	
<b>LEXINGTON AVE.</b>	
<b>ROCHESTER, NY 14606</b>	
<b>BUILDING 2, ENTRANCE 17</b>	
<b>APARTMENTS 17-20</b>	
<b>ROCHESTER HOUSING AUTHORITY</b>	
<b>6 CHRISTOPHER COURT</b>	
<b>ROCHESTER, NY 14606</b>	

DRAWING TITLE
HVAC Plans

DRAWING NO.	drawn by	checked
H-200	FJC	FJC
	proj. capt.	FLM
	date	03-24-25
	proj.	nBE522418

ISSUE DATE
03-24-25



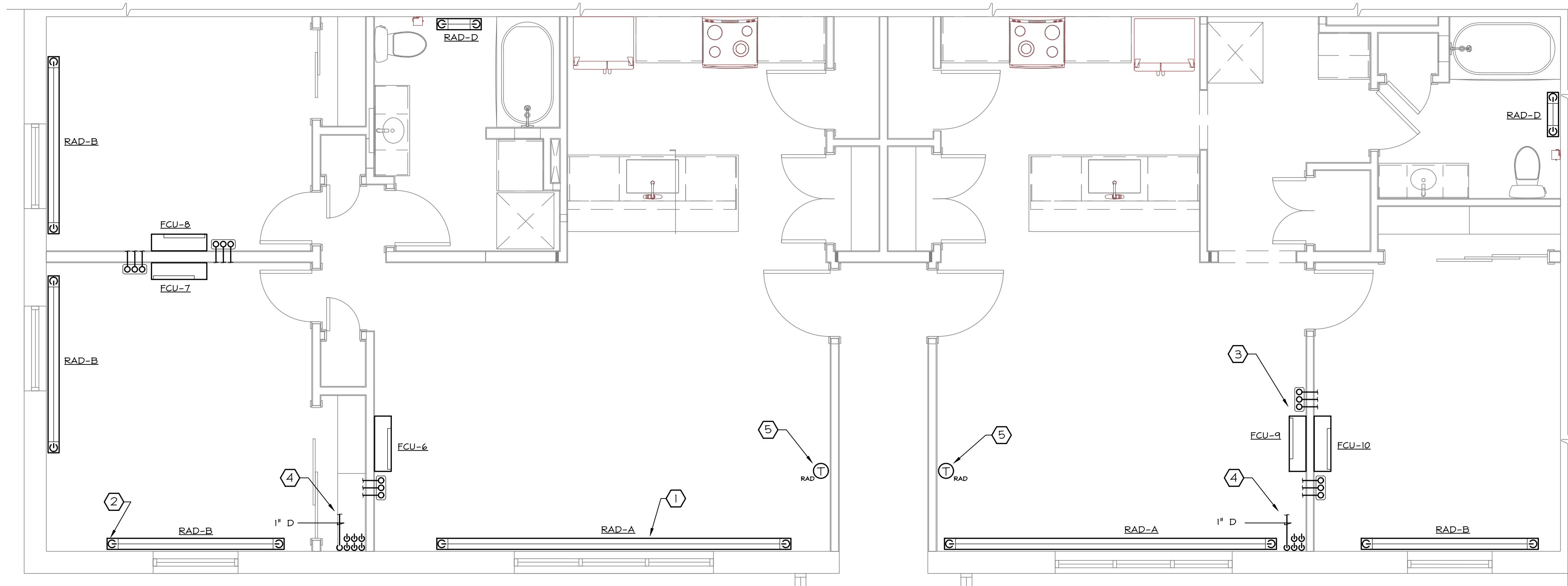
## PICARD ENGINEERING

Engineering, Consulting and Design

P.O. Box 23791  
3159 Whiston Road South  
Rochester, New York 14692  
Tel: 585.292.6060  
Fax: 585.292.6064  
E-mail: info@picardeng.com



THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE & ASSOCIATES AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE & ASSOCIATES. ALL RIGHTS RESERVED. ©



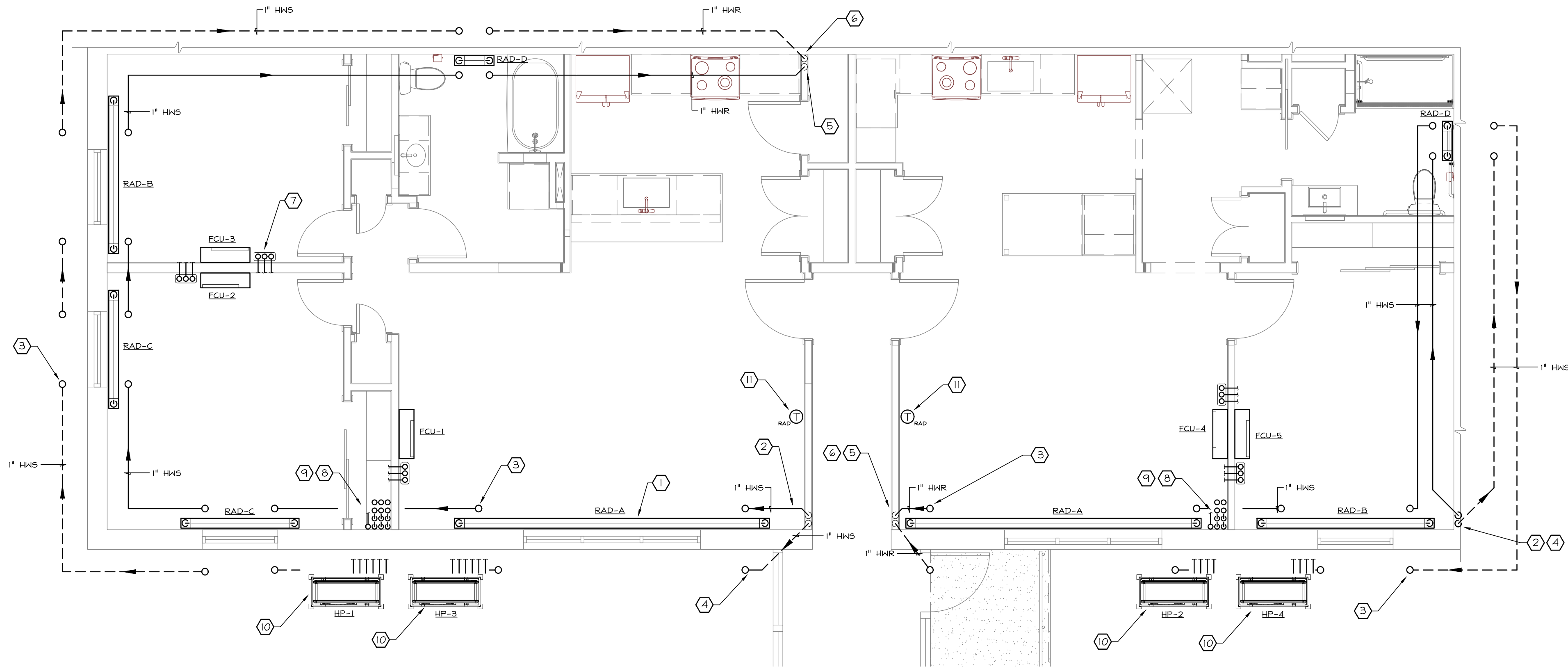
PARTIAL 2nd FLOOR HVAC PLAN

SCALE: 1/4"=1'-0"



### KEY NOTES:

- 1 NEW HOT WATER RADIATOR; SEE DETAIL FOR PIPING AND VALVING. (TYPICAL.)
- 2 3/4" HOT WATER RISER TO EACH RADIATOR RUN, UNLESS OTHERWISE NOTED. RADIATOR PIPING SERVED FROM FIRST FLOOR CEILING/SOFFIT. (TYPICAL.)
- 3 3/8" RS, 1/4" RL AND 1/2" CONDENSATE IN PIPE ENCLOSURE TO SERVE WALL MOUNTED FAN COIL UNIT. NEW REFRIGERANT PIPING TO RUN IN CEILING/SOFFIT SPACE TO CLOSET/CHASE. PIPING TO RUN WITHIN LINE HIDE ENCLOSURE. INSULATION WITHIN LINE HIDE ENCLOSURE TO BE 1/2" THICK. (TYPICAL.)
- 4 1 1/2" CONDENSATE PIPE RISER UP TO SERVE FIRST AND SECOND FLOOR FAN COIL UNITS; INDIVIDUAL 1/2" CONDENSATE RUNS TO CONNECT TO RISER WITH CHECK VALVE AT POINT OF CONNECTION.
- 5 REMOVE AND REPLACE EXISTING FINTUBE/RADIATOR THERMOSTAT; REUSE EXISTING CONTROL WIRING. EXISTING CONTROL VALVE IN BASEMENT/CRAWLSPACE TO REMAIN AND BE RE-USED.



PARTIAL 1st FLOOR HVAC PLAN

SCALE: 1/4"=1'-0"



### KEY NOTES:

- 1 NEW HOT WATER RADIATOR; SEE DETAIL FOR PIPING AND VALVING. (TYPICAL.)
- 2 NEW HEATING HOT WATER PIPING TO RUN IN FIRST FLOOR SOFFIT TO SERVE SECOND FLOOR RADIATOR. NEW 1" HWS PIPING DOWN IN WALL TO BASEMENT/CRAWLSPACE; CONNECT TO EXISTING PIPING IN BASEMENT/CRAWLSPACE. FIELD VERIFY EXACT POINT OF CONNECTION AND PIPE SIZE. PIPING SHOWN AWAY FROM WALL FOR CLARITY.
- 3 3/4" HOT WATER RISER TO EACH RADIATOR RUN, UNLESS OTHERWISE NOTED. (TYPICAL.)
- 4 NEW HEATING HOT WATER PIPING TO RUN IN BASEMENT/CRAWLSPACE TO SERVE FIRST FLOOR RADIATOR (SHOWN DASHED). NEW 1" HWS PIPING TO CONNECT TO EXISTING PIPING IN BASEMENT/CRAWLSPACE. FIELD VERIFY EXACT POINT OF CONNECTION AND PIPE SIZE. PIPING SHOWN OUTSIDE BUILDING FOR CLARITY.
- 5 NEW 1" HOT WATER RETURN PIPING DOWN IN WALL TO BASEMENT/CRAWLSPACE; CONNECT TO EXISTING PIPING IN BASEMENT/CRAWLSPACE. FIELD VERIFY EXACT POINT OF CONNECTION AND PIPE SIZE. PIPING SHOWN AWAY FROM WALL FOR CLARITY.
- 6 NEW 1" HOT WATER PIPING TO RUN IN BASEMENT/CRAWLSPACE TO SERVE FIRST FLOOR RADIATOR (SHOWN DASHED). NEW 1" HWR PIPING TO CONNECT TO EXISTING PIPING IN BASEMENT/CRAWLSPACE. FIELD VERIFY EXACT POINT OF CONNECTION AND PIPE SIZE. PIPING SHOWN OUTSIDE BUILDING FOR CLARITY.
- 7 3/8" RS, 1/4" RL AND 1/2" CONDENSATE IN PIPE ENCLOSURE TO SERVE WALL MOUNTED FAN COIL UNIT. NEW REFRIGERANT PIPING TO RUN IN CEILING/SOFFIT SPACE TO CLOSET/CHASE. PIPING TO RUN WITHIN LINE HIDE ENCLOSURE. INSULATION WITHIN LINE HIDE ENCLOSURE TO BE 1/2" THICK. VERIFY/COORDINATE EXACT FIELD ROUTING. (TYPICAL.)
- 8 REFRIGERANT AND CONDENSATE PIPING SERVING FIRST AND SECOND FLOOR FAN COIL UNITS. PIPING TO PENETRATE EXTERIOR WALL TO GROUND MOUNTED HEAT PUMPS. CORE DRILL WALL FOR PIPING GROUPS AND SEAL WALL WEATHER TIGHT.
- 9 1 1/2" CONDENSATE PIPE RISER UP TO SERVE FIRST AND SECOND FLOOR FAN COIL UNITS; INDIVIDUAL 1/2" CONDENSATE RUNS TO CONNECT TO RISER WITH CHECK VALVE AT POINT OF CONNECTION.
- 10 AIR COOLED HEAT PUMP INSTALLED ON 1'-8" HIGH EQUIPMENT STAND AND 4" HOUSEKEEPING PAD.
- 11 REMOVE AND REPLACE EXISTING FINTUBE/RADIATOR THERMOSTAT; REUSE EXISTING CONTROL WIRING. EXISTING CONTROL VALVE IN BASEMENT/CRAWLSPACE TO REMAIN AND BE RE-USED.

### REVISIONS

no.	date	by	description
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			

### PROJECT & CLIENT

RENOVATIONS TO  
**1289-1310  
LEXINGTON AVE.**  
ROCHESTER, NY 14606

**BUILDING 2, ENTRANCE 17  
APARTMENTS 17-20**

**ROCHESTER HOUSING AUTHORITY  
6 CHRISTOPHER COURT  
ROCHESTER, NY 14606**

### DRAWING TITLE

HVAC Piping Plans

### DRAWING NO.

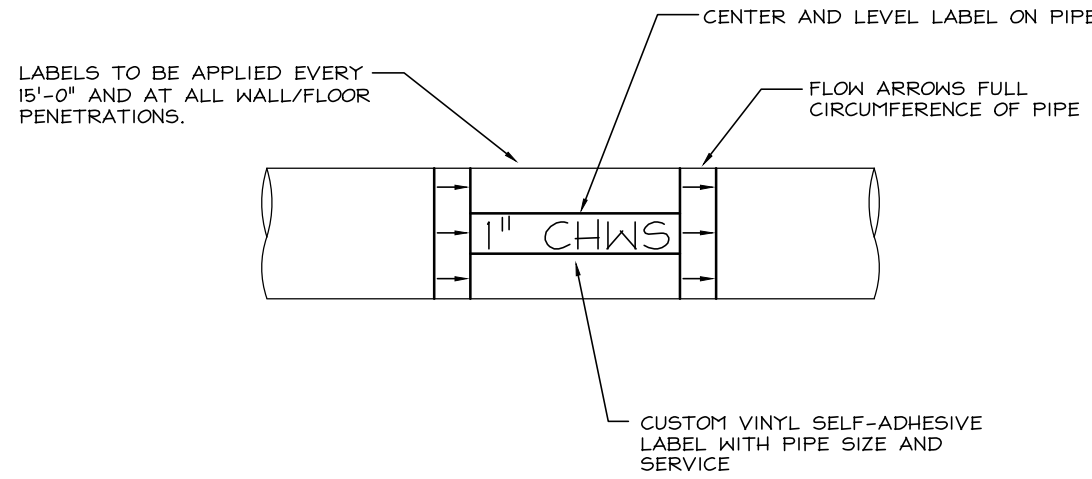
H-201

drawn by FJC  
checked FJC  
proj. capt. FLM  
date 03-24-25  
proj. n052418

### ISSUE DATE

03-24-25





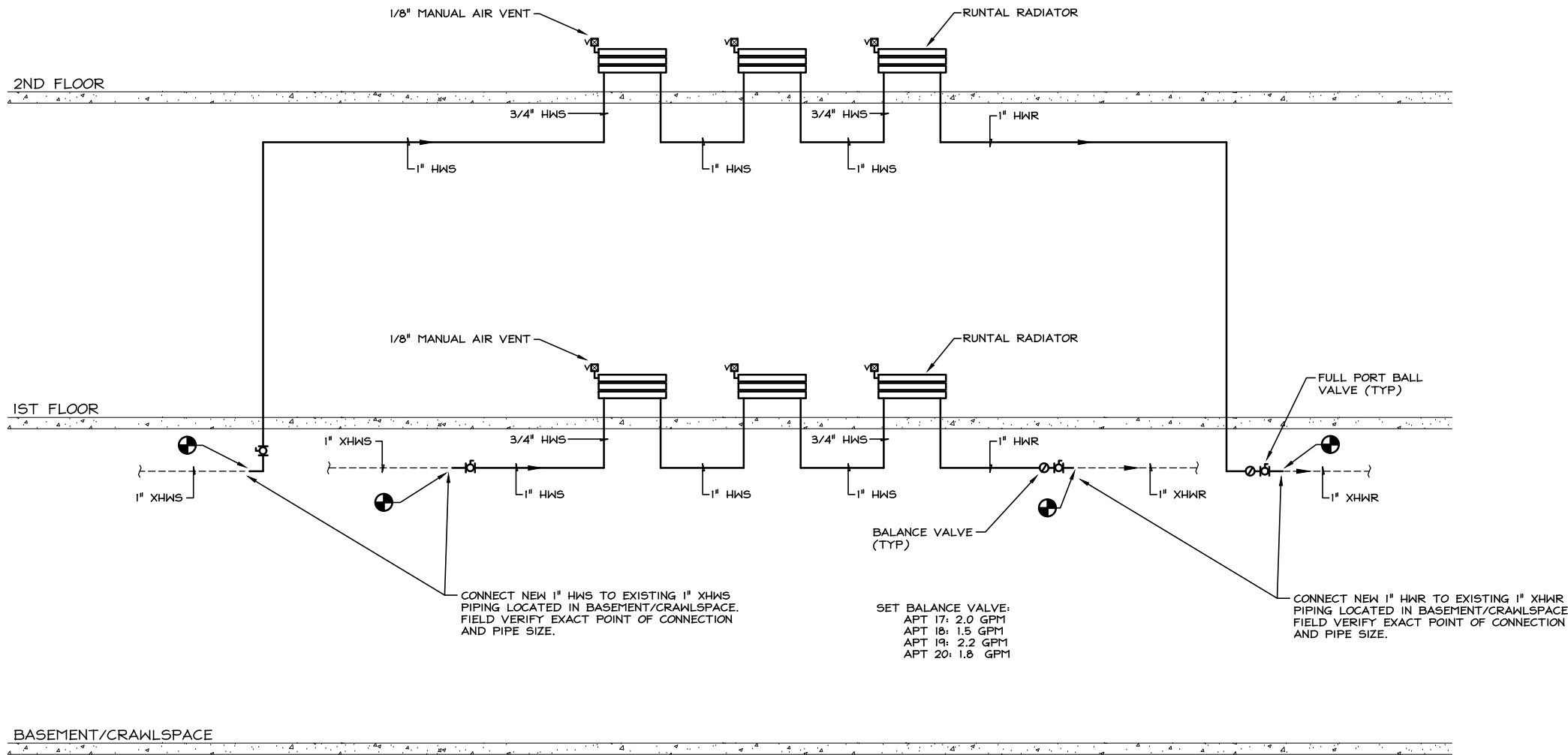
- NOTE:
- Labels to be provided on all piping exposed, concealed or inaccessible.
  - All labels to be installed at completion of painting by others. (if applicable)

PIPE LABEL (2)				TO MEET ASHRAE/ANSI STANDARD A13.1
PIPE SIZE INCHES (1)	MARKER SIZE INCHES	CHARACTER/LETTERS HEIGHT INCHES	ARROW SIZE INCHES	
3/4"-1 3/8"	8"H X 2 1/4"H (CUSTOM)	1/2"	1"	
1 1/2"-2 3/8"	8"H X 2 1/4"H (CUSTOM)	3/4"	2"	
2 1/2"-7 7/8"	12"H X 2 1/4"H (CUSTOM)	1 1/4"	4"	
8"-10"	24"H X 4"H (CUSTOM)	2 1/2"	4"	
10" & LARGER	32"H X 4 1/2"H (CUSTOM)	3 1/2"	4"	

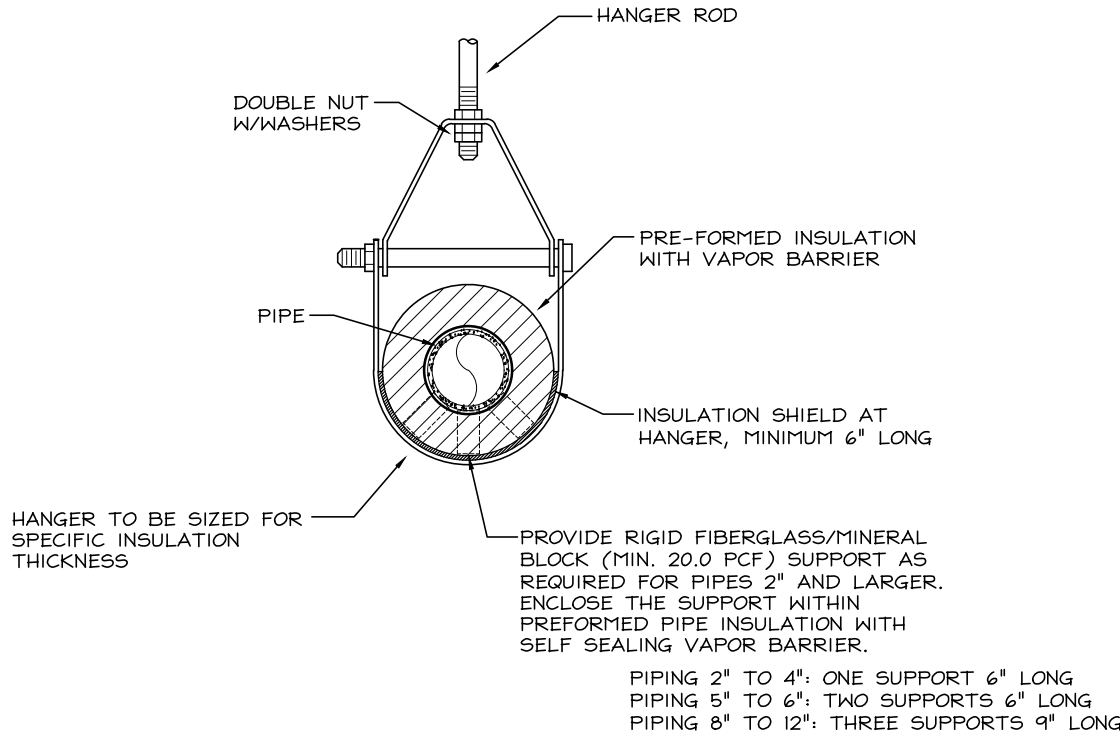
(1) INCLUDE INSULATION THICKNESS WHEN MEASURING OUTSIDE PIPE DIAMETER  
(2) BASED ON SETON CUSTOM OPTI-CODE SELF-ADHESIVE PIPE MARKERS

HVAC PIPING LABELING DETAIL  
SCALE: NONE

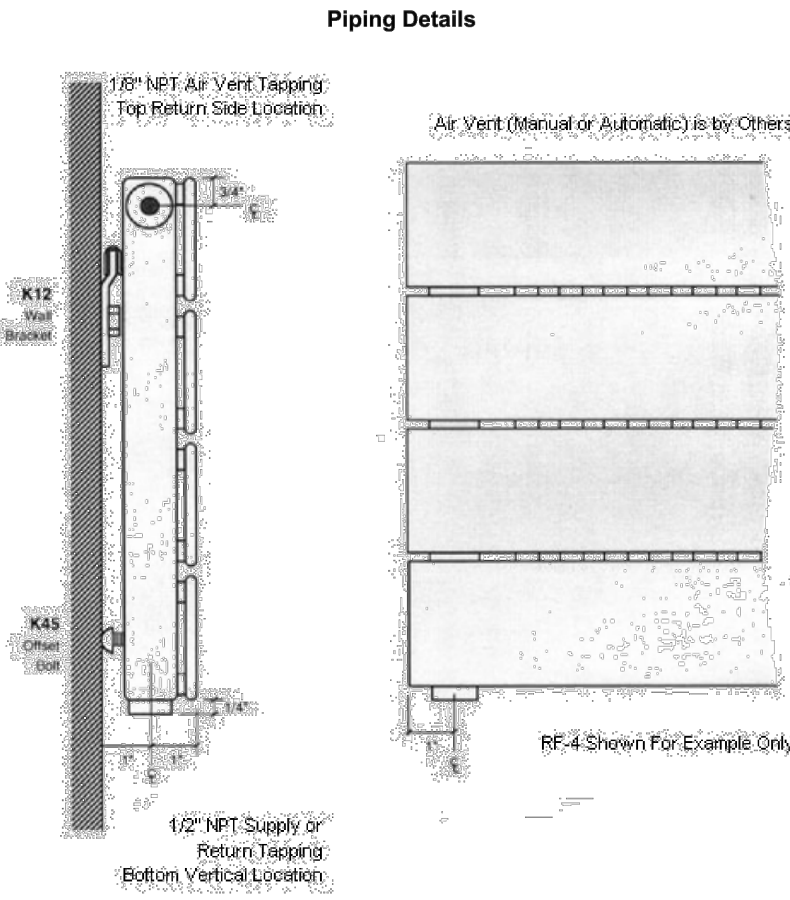
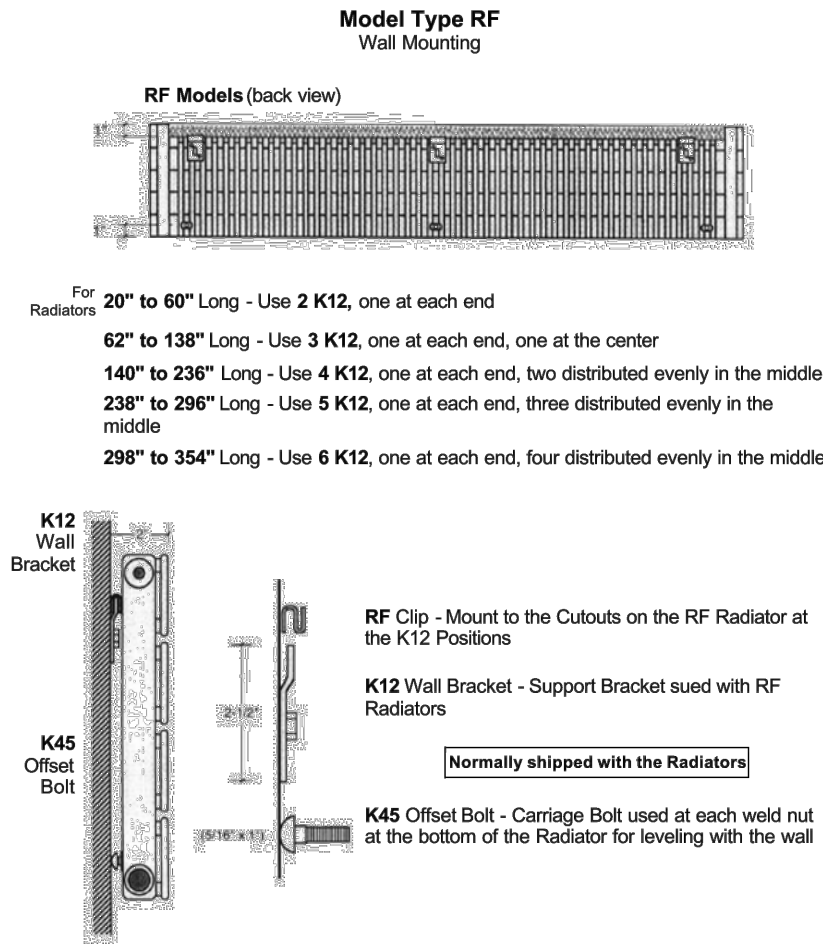
DESIGNATION AND COLOR			
SERVICE	LABEL/ABBREVIATION	BACKGROUND	LETTER
HOT WATER SUPPLY & RETURN	HWS & HWR	GREEN	WHITE



RADIATOR SYSTEM PIPING SCHEMATIC  
SCALE: NONE



PIPE HANGER DETAIL (INSULATED)  
SCALE: NONE



RADIATOR MOUNTING DETAILS  
SCALE: NONE

331 Alexander Street  
Suite 215  
Rochester, N. Y. 14604  
Phone 585-530-2230  
Fax 585-530-3302

**PICARD  
ENGINEERING**

Engineering, Consulting and Design

P.O. Box 23791  
3159 Whiston Road South  
Rochester, New York 14692  
Tel: 585.292.6060  
Fax: 585.292.6064  
E-mail: info@picardeng.com



THESE DOCUMENTS AND ALL IDEAS, MECHANISMS, PERSONS AND PLANS INDICATED HEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE & ASSOCIATES AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE & ASSOCIATES. ALL RIGHTS RESERVED. ©

REVISIONS			
no.	date	by	description
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

PROJECT & CLIENT
RENOVATIONS TO <b>1289-1310 LEXINGTON AVE. ROCHESTER, NY 14606</b>
<b>BUILDING 2, ENTRANCE 17 APARTMENTS 17-20</b>
<b>ROCHESTER HOUSING AUTHORITY 6 CHRISTOPHER COURT ROCHESTER, NY 14606</b>

DRAWING TITLE
HVAC Details

DRAWING NO.	drawn by FJC checked FJC proj. capt. FLM date 03-24-25 proj. nBE522418
H-400	

ISSUE DATE
03-24-25



# ELECTRICAL LEGEND

(ALL SYMBOLS MAY NOT BE USED ON THIS PROJECT)

## GENERAL

	FINE LINE – EXISTING EQUIPMENT TO REMAIN
	BOLD LINE – NEW EQUIPMENT OR WORK
	BOLD LINE DASHED – EXISTING EQUIPMENT OR WORK TO BE REMOVED

## POWER

	SINGLE RECEPTACLE, MOUNT 18" AFF UNLESS OTHERWISE NOTED
	DUPLEX RECEPTACLE, MOUNT 18" AFF UNLESS OTHERWISE NOTED. SUBSCRIPTS: AB – ABOVE COUNTER (6" ABOVE BACKSLASH) GFI – GROUND FAULT INTERRUPTER EWC – WATER COOLER (DRINKING FOUNTAIN) CP – CHILD PROOF +##" – INDICATES MOUNTING HEIGHT ABOVE FINISHED FLOOR
	DUPLEX RECEPTACLE, FLOOR MOUNTED – RECESSED
	SPECIAL RECEPTACLE AS NOTED, SCHEDULED OR SPECIFIED.
	SPECIAL RECEPTACLE, FLOOR MOUNTED – RECESSED
	QUADRUPLEX RECEPTACLE, MOUNT 18" AFF UNLESS OTHERWISE NOTED
	SURFACE RACEWAY WITH RECEPTACLES # INCHES ON CENTER.
	SURFACE RACEWAY WITH RECEPTACLES # INCHES ON CENTER.
	LOW VOLTAGE PANELBOARD, 208Y/120V, LETTERING AND NUMERALS INDICATE PANEL DESIGNATION
	HIGH VOLTAGE PANELBOARD, 480Y/277V, LETTERING AND NUMERALS INDICATE PANEL DESIGNATION
	LOCAL CONTROL PANEL, LETTERING AND NUMERALS INDICATE PANEL DESIGNATION
	DISCONNECT SWITCH, HORSE POWER RATED,
	MAGNETIC MOTOR STARTER, HORSE POWER RATED, SURFACE MOUNTED 54" AFF
	COMBINATION MAGNETIC MOTOR STARTER AND DISCONNECT SWITCH, HORSE POWER RATED, SURFACE MOUNTED, 54" AFF
	VARIABLE FREQUENCY DRIVE, HORSE POWER RATED, SURFACE MOUNTED 54" AFF
	MOTOR
	HOME RUN DESIGNATION WITH PANELBOARD & BRANCH CIRCUIT #'s ASSUME 2 No. 12 AWG. WITH 1 No. 12AWG. GROUND IN 1/2" CONDUIT UNLESS OTHERWISE NOTED.
	BRANCH CIRCUIT WIRING, CONCEALED IN WALLS OR ABOVE CEILINGS, EXPOSED WHERE PERMITTED BY SPECIFICATIONS. ASSUME 2 No. 12 AWG. WITH 1 No. 12AWG. GROUND IN 1/2" CONDUIT UNLESS OTHERWISE NOTED.
	SWITCHED BRANCH CIRCUIT WIRING, CONCEALED IN WALLS OR ABOVE CEILINGS, EXPOSED WHERE PERMITTED. ASSUME QUANTITY OF No. 12 AWG. AS REQUIRED WITH 1 No. 12 AWG GROUND IN 1/2" CONDUIT UNLESS OTHERWISE NOTED.
	TRANSFORMER
	JUNCTION BOX
	PUSH BUTTON STATION
	HVAC EQUIPMENT; UH = UNIT HEATER, RTU = ROOF TOP UNIT, ETC.
	POWER POLE
	TEL/DATA CABLE POLE
	CABLE TRAY
	CABLE TRAY

## TELEPHONE, DATA, CATV and SECURITY

	TELEPHONE OUTLET, WALL MOUNTED 18" AFF, UNLESS OTHERWISE NOTED
	DATA OUTLET, WALL MOUNTED 18" AFF, UNLESS OTHERWISE NOTED
	COMBINATION TELEPHONE/DATA OUTLET, WALL MOUNTED 18" AFF, UNLESS OTHERWISE NOTED.
	SPEAKER, RECESSED, CEILING MOUNTED
	SPEAKER, WALL MOUNTED H = HORN TYPE
	CARD READER

## LIGHTING FIXTURES

	LIGHTING FIXTURE, LED, SURFACE OR PENDANT MOUNTED. LETTER DENOTES FIXTURE TYPE; REFER TO FIXTURE SCHEDULE.
	LIGHTING FIXTURE, LED, RECESSED. LETTER DENOTES FIXTURE TYPE; REFER TO FIXTURE SCHEDULE.
	LIGHTING FIXTURE, LED, SURFACE OR PENDANT MOUNTED, CONNECTED TO EMERGENCY CIRCUIT, OR WITH EMERGENCY POWER PACK. LETTER DENOTES FIXTURE TYPE; REFER TO FIXTURE SCHEDULE.
	LIGHTING FIXTURE, LED, RECESSED, CONNECTED TO EMERGENCY CIRCUIT, OR WITH EMERGENCY POWER PACK. LETTER DENOTES FIXTURE TYPE; REFER TO FIXTURE SCHEDULE.
	LIGHTING FIXTURE, LED STRIP LIGHT LETTER DENOTES FIXTURE TYPE. REFER TO FIXTURE SCHEDULE.
	LIGHTING FIXTURE, EXIT SIGN: CEILING OR PENDANT MOUNTED. PROVIDE DIRECTIONAL ARROWS AS INDICATED AND/OR REQUIRED. REFER TO FIXTURE SCHEDULE.
	LIGHTING FIXTURE, EXIT SIGN: WALL MOUNTED. PROVIDE DIRECTIONAL ARROWS AS INDICATED AND/OR REQUIRED. REFER TO FIXTURE SCHEDULE.
	LIGHTING FIXTURE, EMERGENCY, BATTERY WALLPACK (WALL MOUNTED) REFER TO FIXTURE SCHEDULE.
	LIGHTING FIXTURE, EMERGENCY, BATTERY WALLPACK (CEILING MOUNTED) REFER TO FIXTURE SCHEDULE.

## SWITCHES and CONTROLS

\$	WALL SWITCH, SINGLE POLE, 20 AMP, 277/120V. MOUNT 4'-0" ABOVE FINISHED FLOOR SUBSCRIPTS: 3 – THREE WAY 4 – FOUR WAY OS – OCCUPANCY SENSOR 3OS – THREE-WAY, OCCUPANCY SENSOR T – DIGITAL TIME SWITCH 3T – THREE-WAY, DIGITAL TIME SWITCH D – DIMMER SWITCH P – PILOT LIGHT INDICATOR M – MOMENTARY SWITCH K – KEY
	OCCUPANCY SENSOR, CEILING MOUNTED.
	LIGHTING CONTACTOR
R-#	LIGHTING RELAY

## FIRE ALARM

	FIRE ALARM CONTROL PANEL
	FIRE ALARM ANNUNCIATOR PANEL
	FIRE ALARM MANUAL PULL STATION, SEMI-FLUSH MOUNTED, 4'-0" ABOVE FINISHED FLOOR
	FIRE ALARM AUDIBLE ONLY DEVICE, SEMI-FLUSH MOUNTED, 7'-0" ABOVE FINISHED FLOOR
	FIRE ALARM VISIBLE ONLY DEVICE, SEMI-FLUSH MOUNTED, 7'-0" ABOVE FINISHED FLOOR
	FIRE ALARM AUDIBLE/VISIBLE DEVICE, HORN TYPE, SEMI-FLUSH MOUNTED, 7'-0" ABOVE FINISHED FLOOR
	FIRE ALARM, HEAT DETECTOR
	FIRE ALARM, SMOKE DETECTOR
	FIRE ALARM, DUCT SMOKE DETECTOR
	FIRE ALARM, UNDER FLOOR SMOKE DETECTOR
	FIRE ALARM, SPRINKLER RISER FLOW SWITCH
	FIRE ALARM, SPRINKLER RISER TAMPER SWITCH
	MAGNETIC DOOR HOLDER
	CARBON MONOXIDE DETECTOR

## ABBREVIATIONS

AB	ABOVE COUNTER BACK SPLASH	RLD	RELOCATED EXISTING
AFF	ABOVE FINISHED FLOOR	RLX	RELOCATE EXISTING
C	CONDUIT	RPD	REPLACED
EX	EXISTING TO REMAIN	RPX	REPLACE EXISTING
GFI	GROUND FAULT INTERRUPTER	RX	REMOVE EXISTING
G, GND	GROUND	UGC	UNDERGROUND CATV
HP	HORSEPOWER	UGE	UNDERGROUND ELECTRIC
KW	KILOWATT	UGT	UNDERGROUND TELEPHONE
		WP	WEATHER PROOF

## GENERAL ELECTRICAL NOTES

- REFER TO ARCHITECTURAL DRAWINGS FOR PROJECT PHASING REQUIREMENTS. COORDINATE ELECTRICAL DEMOLITION AND CONSTRUCTION AS NECESSARY TO MEET REQUIRED PHASES.
- ALL ELECTRICAL WORK SHALL CONFORM TO LOCAL AND STATE CODES, AND THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
- ELECTRICAL CHARACTERISTICS OF ALL EQUIPMENT SHALL BE VERIFIED WITH EQUIPMENT MANUFACTURERS AND OTHER TRADES PRIOR TO ROUGH IN OF ELECTRICAL FEEDERS, BRANCH CIRCUITS AND CONNECTIONS.
- ITEMS OF SPECIFIC MANUFACTURERS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS AND/OR MANUFACTURER'S REPRESENTATIVES DIRECTIONS.
- UNLESS OTHERWISE NOTED OR SPECIFIED, ALL CONDUCTORS SHALL BE INSTALLED IN THE FOLLOWING CONDUIT WITH ALL REQUIRED FITTINGS AND ACCESSORIES:
  - BELOW GRADE: PVC; SCHEDULE 40 MIN.
  - EXTERIOR ABOVE GRADE: RGS
  - INTERIOR: EMT; WHERE NOT SUBJECT TO PHYSICAL DAMAGE
  - INTERIOR; IMC WHERE SUBJECT TO PHYSICAL DAMAGE
- TYPE MC METAL-CLAD CABLE AND TYPE NM-B CABLE ARE ACCEPTABLE WHERE PERMITTED BY NEC REQUIREMENTS.
- UNLESS OTHERWISE NOTED OR SPECIFIED, THE MINIMUM SIZE CONDUCTOR SHALL BE #12 AWG, THHN/THWN, COPPER FOR POWER CIRCUITS AND #14 AWG, THHN/THWN, COPPER FOR CONTROL CIRCUITS.
- UNLESS OTHERWISE NOTED OR SPECIFIED, THE FOLLOWING CONDUCTORS SHALL BE USED FOR 20A, 120V BRANCH CIRCUITS:
  - LESS THAN 100 FEET IN LENGTH: #12 AWG
  - 100 FEET TO 150 FEET IN LENGTH: #10 AWG
  - 150 FEET TO 200 FEET IN LENGTH: #8 AWG
  - OVER 200 FEET IN LENGTH: #6 AWG
- EACH CIRCUIT SHALL HAVE IT'S OWN NEUTRAL WIRE, SIZE AND TYPE TO MATCH PHASE WIRE; EXCEPTIONS NOTED ON DRAWINGS.
- EACH CIRCUIT SHALL HAVE IT'S OWN GROUND WIRE, SIZE AND TYPE TO MATCH PHASE WIRE; EXCEPTIONS NOTED ON DRAWINGS AND IN SPECIFICATIONS. GROUND WIRES SHALL BE COLOR CODED GREEN.
- INSTALL ALL CIRCUITS ABOVE CEILINGS AT OR NEAR DECK OR BUILDING STRUCTURE LEVEL.
- PROPERLY FIRESTOP ALL FIRE RATED WALL PENETRATIONS WITH APPROVED MATERIAL.

# LIGHTING FIXTURE SCHEDULE

REFER TO LIGHTING SPECIFICATION SECTION 265100 FOR ALL LIGHTING FIXTURE REQUIREMENTS.

## COMMISSIONING COORDINATION NOTES

- THE ELECTRICAL SYSTEMS PROVIDED UNDER THIS PROJECT WILL REQUIRE 3RD PARTY COMMISSIONING PER THE REQUIREMENTS OF THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE. THE ELECTRICAL CONTRACTOR AND ASSOCIATED SUBCONTRACTORS/EQUIPMENT VENDORS WILL BE REQUIRED TO COORDINATE AND ASSIST THE COMMISSIONING AUTHORITY WITH THE COMMISSIONING PROCESS.
- THE FOLLOWING ELECTRICAL SYSTEMS/EQUIPMENT TO BE COMMISSIONED SHALL INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING:
  - ALL LIGHTING CONTROLS; INCLUDING SENSORS, TIMERS, DIMMERS, ETC.

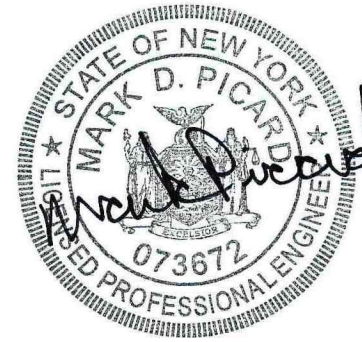


331 Alexander Street  
Suite 215  
Rochester, N. Y. 14604  
Phone 585-530-2230  
Fax 585-530-3302

# PICARD ENGINEERING

Engineering, Consulting and Design

PO Box 23791  
3159 Wharton Road South  
Rochester, New York 14692  
Tel: 585.292.6060  
Fax: 585.292.6064  
E-mail: info@picardeng.com



THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INCORPORATED HEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE & ASSOCIATES AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE & ASSOCIATES. ALL RIGHTS RESERVED.

## REVISIONS

no.	date	by	description

## PROJECT & CLIENT

RENOVATIONS TO
<b>1289-1310</b>
<b>LEXINGTON AVE.</b>
<b>ROCHESTER, NY 14606</b>
<b>BUILDING 2, ENTRANCE 17</b>
<b>APARTMENTS 17-20</b>
<b>ROCHESTER HOUSING AUTHORITY</b>
<b>6 CHRISTOPHER COURT</b>
<b>ROCHESTER, NY14606</b>

## DRAWING TITLE

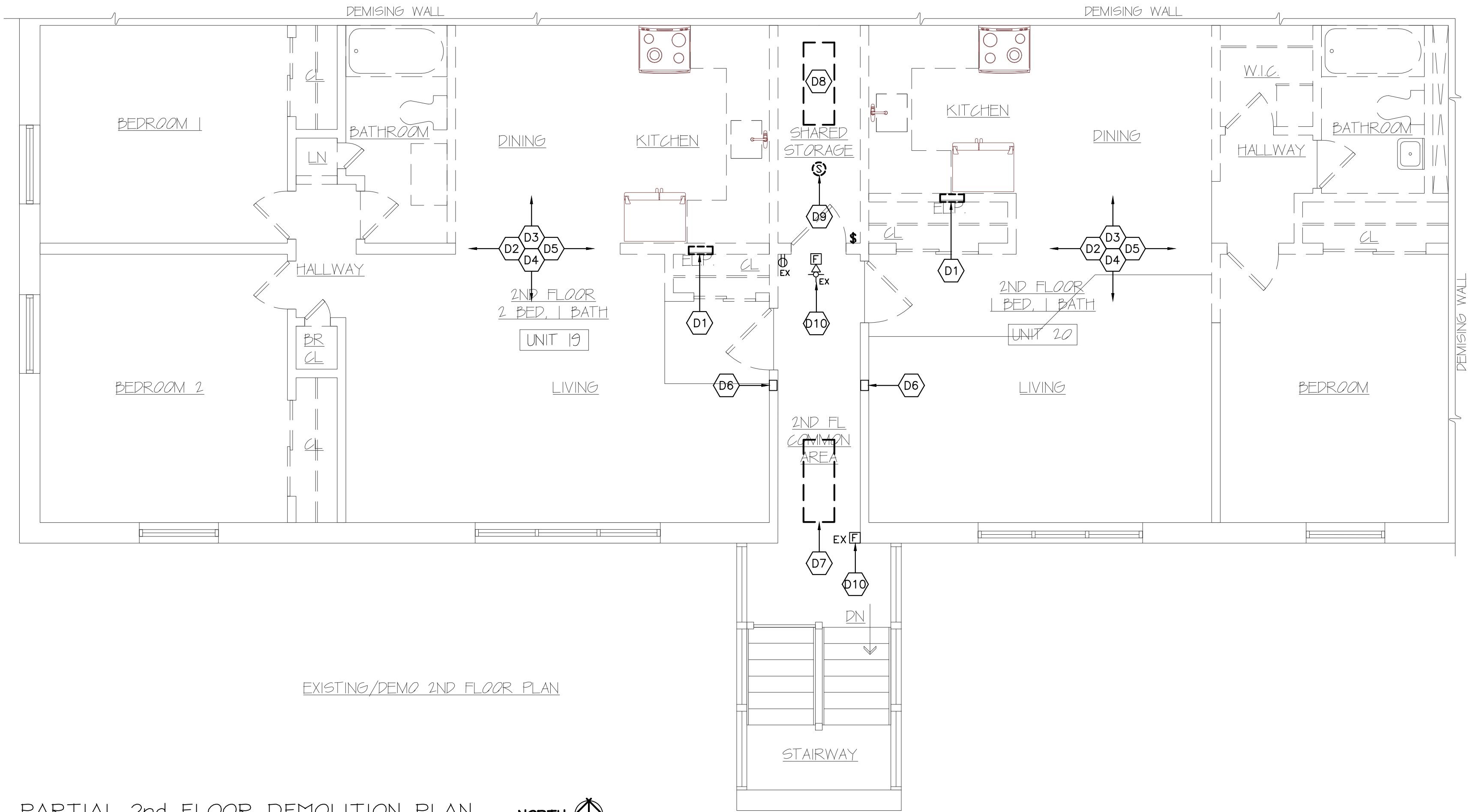
<b>UNIT 17-20</b>
<b>ELECTRIC COVER</b>

DRAWING NO.	drawn by	MDP
<b>E-000</b>	checked	MDP
	proj. capt.	FLM
	date	03-24-25
	proj. no.	PE522418

## ISSUE DATE

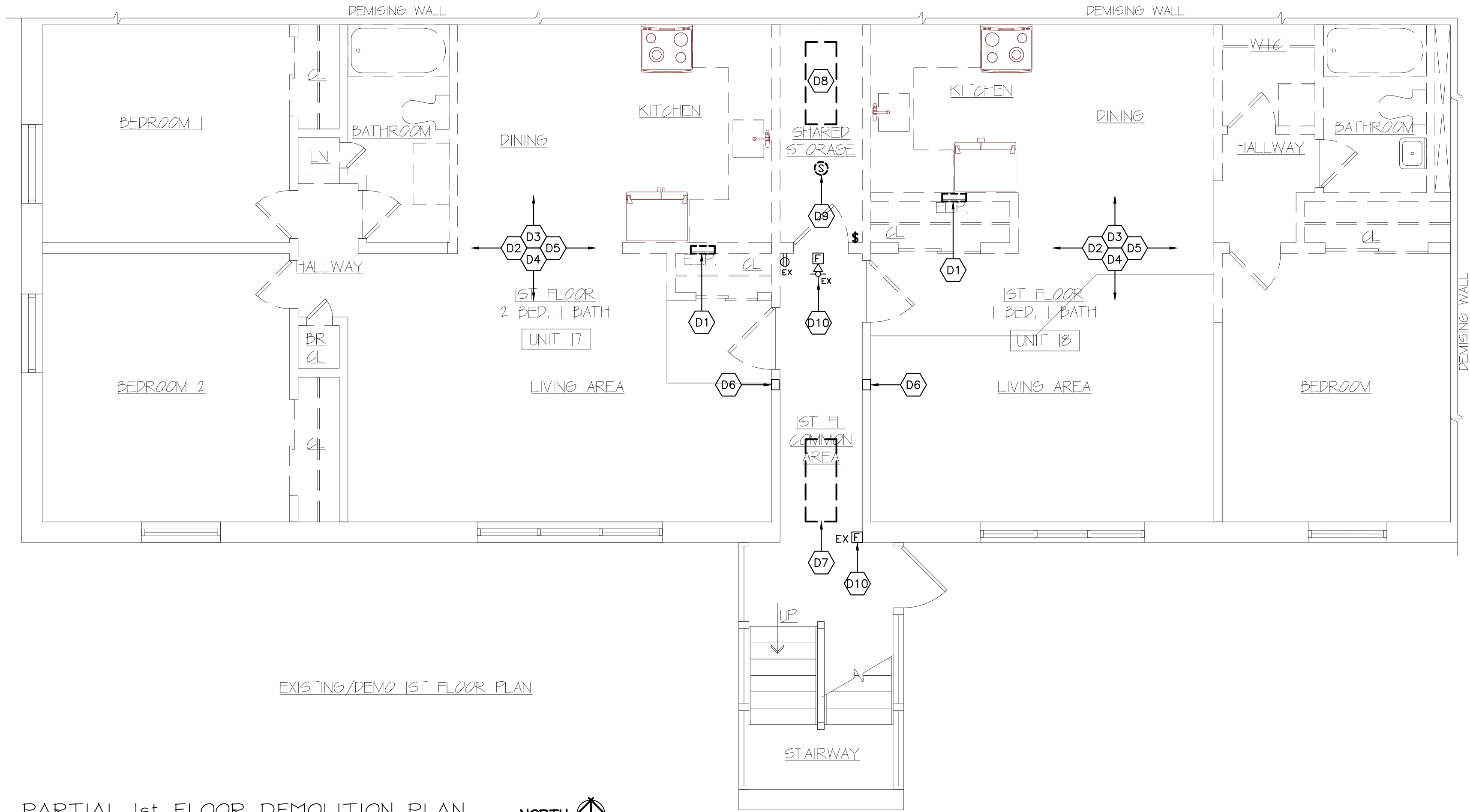
03-24-25





EXISTING/DEMO 2ND FLOOR PLAN

PARTIAL 2nd FLOOR DEMOLITION PLAN  
SCALE: 1/4"=1'-0"



EXISTING/DEMO 1ST FLOOR PLAN

PARTIAL 1st FLOOR DEMOLITION PLAN  
SCALE: 1/4"=1'-0"

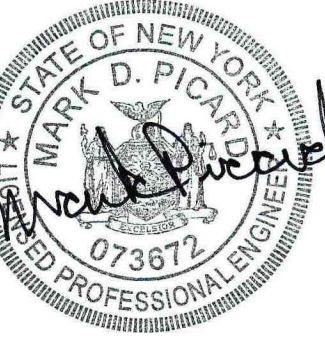


GENERAL ELECTRICAL DEMOLITION NOTES:

- DA. DISCONNECT, REMOVE AND DISCARD ALL DEVICES AND EQUIPMENT SHOWN BOLD EXCEPT AS OTHERWISE INDICATED. DISCONNECT AND REMOVE ALL JUNCTION BOXES, EXPOSED CONDUIT, CONDUCTORS, ACCESSORIES AND CONTROLS ASSOCIATED WITH REMOVED EQUIPMENT AND DEVICES; UNLESS OTHERWISE INDICATED.
- DB. DISCONNECT AND REMOVE ALL CONDUCTORS AND EXPOSED CONDUIT ASSOCIATED WITH REMOVED EQUIPMENT AND DEVICES BACK TO SOURCE.
- DC. DISCONNECT AND REMOVE ALL OBSOLETE AND ABANDONED ELECTRICAL EQUIPMENT, CONDUIT, CONDUCTORS, HANGERS, SUPPORTS, BOXES, ETC. FROM ABOVE CEILING, CEILING, WALL AND FLOOR. DISCONNECT AND REMOVE BACK TO SOURCE.
- DD. MAINTAIN THE CONTINUITY AND INTEGRITY OF ALL EXISTING BRANCH CIRCUITS SERVING ELECTRICAL EQUIPMENT AND DEVICES OUTSIDE THE LIMITS OF DEMOLITION. RE-ROUTE AND RE-CONNECT EXISTING BRANCH CIRCUITS AS REQUIRED UTILIZING THE SAME SIZE, TYPE AND QUANTITY CONDUIT AND CONDUCTORS.
- DE. MAINTAIN THE CONTINUITY AND INTEGRITY OF ALL EXISTING BRANCH CIRCUITS SERVING ELECTRICAL EQUIPMENT AND DEVICES TO BE RELOCATED. RE-ROUTE, EXTEND AND RE-CONNECT EXISTING BRANCH CIRCUITS TO THE RELOCATED EQUIPMENT AND DEVICES AS REQUIRED UTILIZING THE SAME SIZE, TYPE AND QUANTITY CONDUIT AND CONDUCTORS.
- DF. DISCONNECT AND REMOVE ALL EXISTING TELEPHONE OUTLETS WITHIN PROJECT LIMITS, UNLESS OTHERWISE NOTED. DISCONNECT AND REMOVE ASSOCIATED TELEPHONE CABLING BACK TO EXISTING PUNCH-DOWN BLOCK/PATCH PANEL.
- DG. DISCONNECT AND REMOVE ALL EXISTING CATV OUTLETS WITHIN PROJECT LIMITS, UNLESS OTHERWISE NOTED. DISCONNECT AND REMOVE ALL ASSOCIATED CABLING BACK TO EXISTING AMPLIFIER/SPLITTER.
- DH. DISCONNECT AND REMOVE ALL EXISTING FIRE ALARM SYSTEM DEVICES WITHIN PROJECT LIMITS. MAINTAIN THE CONTINUITY AND INTEGRITY OF ALL EXISTING FIRE ALARM SYSTEM CIRCUITS FOR CONTINUED USE.
- DI. CLOSE AND PLUG HOLES AND/OR PENETRATIONS LEFT BY EQUIPMENT, DEVICES AND/OR CONDUIT REMOVALS TO MATCH SURROUNDING SURFACES.

ELECTRICAL DEMOLITION NOTES:

- D1. DISCONNECT AND REMOVE APARTMENT LOADCENTER AND ALL ASSOCIATED BRANCH CIRCUITS. DISCONNECT AND REMOVE ASSOCIATED LOADCENTER SERVICE FEEDER BACK TO SOURCE (UTILITY METER IN BASEMENT).
- D2. DISCONNECT AND REMOVE ALL EXISTING LIGHTING FIXTURES, LIGHT SWITCHES AND ASSOCIATED BRANCH CIRCUITS WITHIN APARTMENT BACK TO SOURCE (LOADCENTER).
- D3. DISCONNECT AND REMOVE ALL EXISTING RECEPTACLES, WIRING DEVICES AND ASSOCIATED BRANCH CIRCUITS WITHIN APARTMENT BACK TO SOURCE (LOADCENTER).
- D4. DISCONNECT AND REMOVE ALL EXISTING TELEPHONE JACKS, CATV JACKS AND ASSOCIATED WIRING AND CABLING WITHIN APARTMENT BACK TO SOURCE.
- D5. DISCONNECT AND REMOVE ALL EXISTING SINGLE STATION SMOKE DETECTORS WITHIN APARTMENT.
- D6. MAINTAIN EXISTING DOOR INTERCOM-ACCESS SYSTEM FOR CONTINUED USE.
- D7. DISCONNECT AND REMOVE COMMON AREA LIGHTING FIXTURE MAINTAINING THE CONTINUITY AND INTEGRITY OF THE EXISTING LIGHTING BRANCH CIRCUIT FOR RE-USE.
- D8. DISCONNECT AND REMOVE EXISTING LIGHTING FIXTURES, SWITCHES AND ASSOCIATED BRANCH CIRCUITS WITHIN STORAGE ROOM BACK TO SOURCE.
- D9. DISCONNECT AND REMOVE EXISTING SMOKE DETECTOR WITHIN STORAGE ROOM MAINTAINING THE CONTINUITY AND INTEGRITY OF THE EXISTING FIRE ALARM SYSTEM FOR CONTINUED USE.
- D10. EXISTING FIRE ALARM SYSTEM DEVICES WITHIN THE COMMON AREA SHALL REMAIN FOR CONTINUED USE. RE-ROUTE AND EXTEND ALL EXISTING FIRE ALARM SYSTEM RACEWAYS AND WIRING SUCH THAT ALL FIRE ALARM SYSTEM RACEWAYS AND WIRING ARE CONCEALED WITHIN BUILDING CONSTRUCTION.



THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INCORPORATED THEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE & ASSOCIATES AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE & ASSOCIATES. ALL RIGHTS RESERVED.

REVISIONS

no.	date	by	description
△			
△			
△			
△			
△			
△			
△			
△			
△			

PROJECT & CLIENT

RENOVATIONS TO  
**1289-1310**  
**LEXINGTON AVE.**  
ROCHESTER, NY 14606  
  
BUILDING 2, ENTRANCE 17  
APARTMENTS 17-20  
  
ROCHESTER HOUSING AUTHORITY  
6 CHRISTOPHER COURT  
ROCHESTER, NY14606

DRAWING TITLE

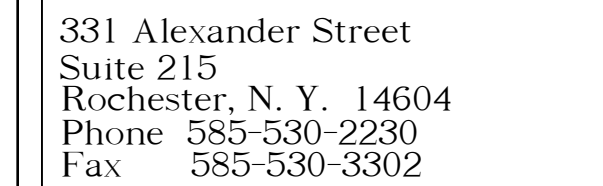
**UNIT 17-20**  
**ELECTRIC**  
**DEMOLITION PLANS**

DRAWING NO.	drawn by	MDP
<b>ED-100</b>	checked	MDP
	proj. capt.	FLM
	date	03-24-25
	proj. no.	PE522418

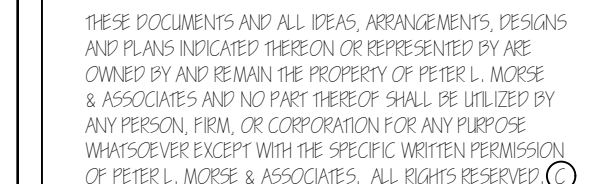
ISSUE DATE

**03-24-25**





Engineering, Consulting and Design  
PO Box 23791  
3159 Winton Road South  
Rochester, New York 14692  
Tel: 585.292.6060  
Fax: 585.292.6064  
E-mail: [info@picardeng.com](mailto:info@picardeng.com)

[illegible]

RENOVATIONS TO  
1289-1310  
LEXINGTON AVE.  
ROCHESTER, NY 14606

BUILDING 2, ENTRANCE 17  
APARTMENTS 17-20

ROCHESTER HOUSING AUTHORITY  
6 CHRISTOPHER COURT  
ROCHESTER, NY 14606

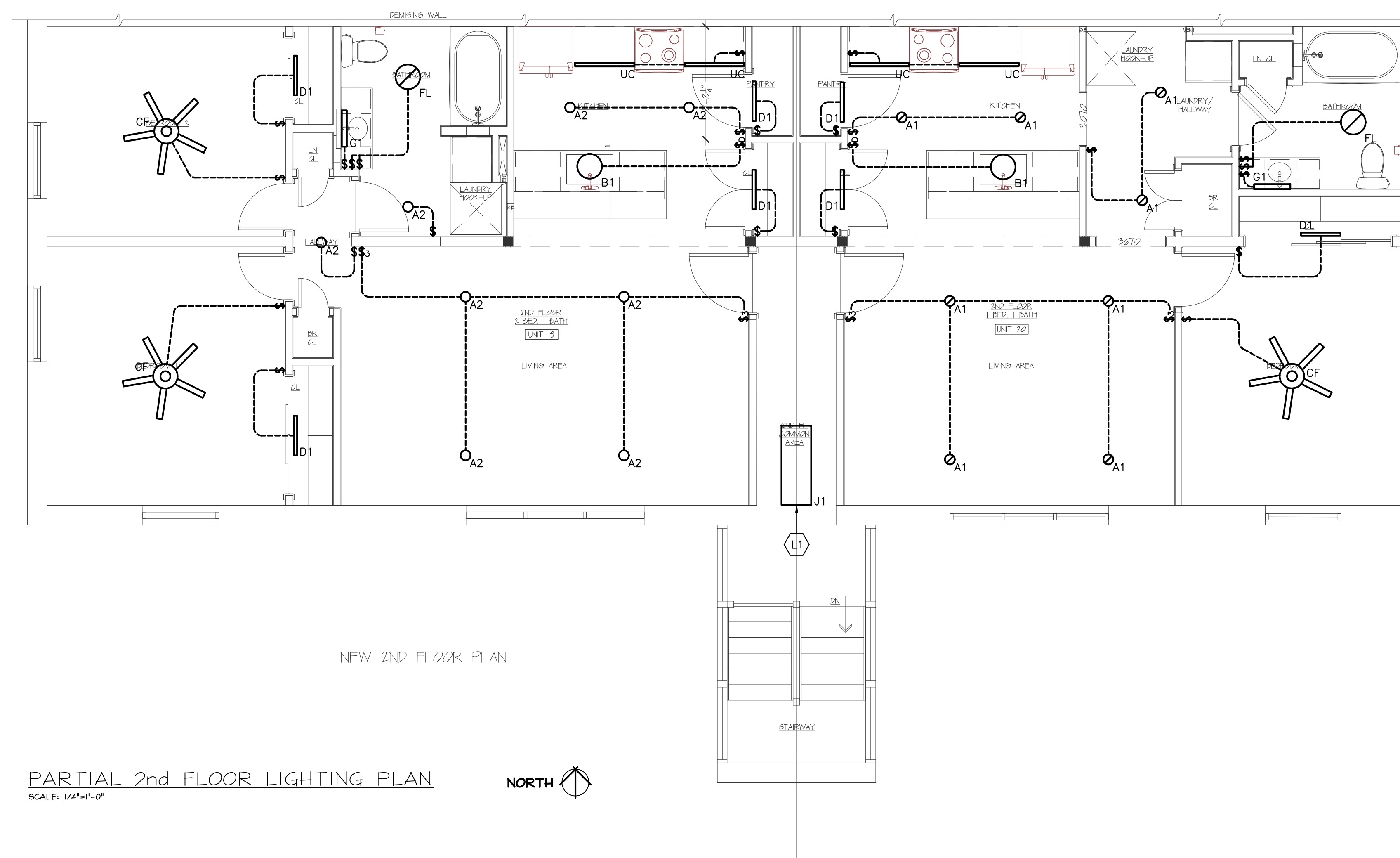
**UNIT 17-20  
LIGHTING PLANS**

DRAWING NO.  <b>E-100</b>	drawn by	MDP
	checked	MDP
	proj. capt.	FLM
	date	03-24-25
	proj. no.	PE5224.18

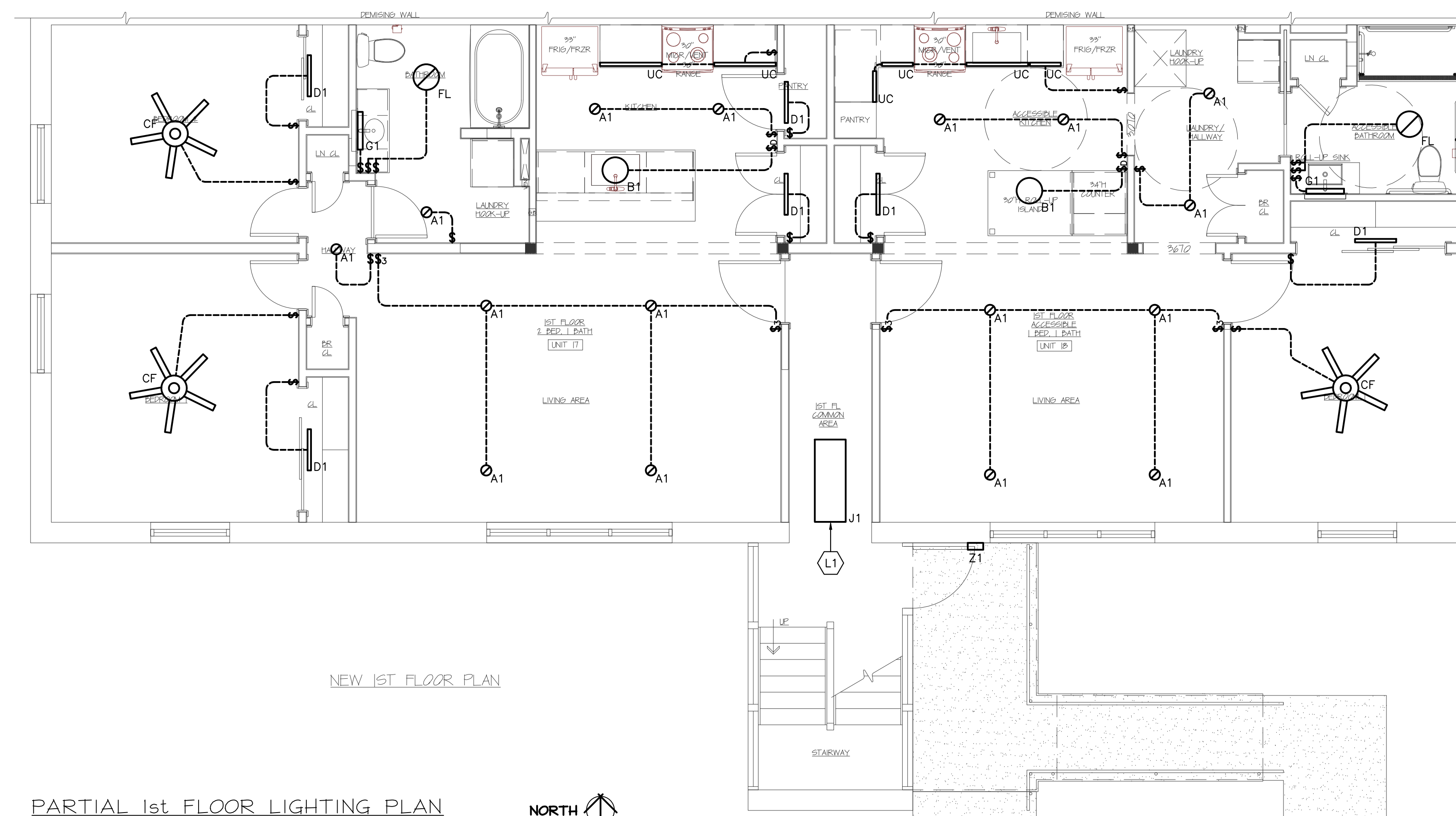
03-24-25

- L.A. PROVIDE DESIGNATED LIGHTING FIXTURES, AS SPECIFIED, IN LOCATIONS SHOWN REFER TO LIGHTING FIXTURE SCHEDULE FOR ADDITIONAL FIXTURE REQUIREMENTS.
- L.B. FULLY COORDINATE ALL LIGHTING FIXTURE LOCATIONS WITH ALL OTHER CEILING MOUNTED DEVICES AND WITH ALL OTHER TRADES), REFER TO THE ARCHITECTURAL REFLECTED CEILING PLAN FOR THE EXACT FIXTURE MOUNTING LOCATIONS.
- L.C. ALL FIXTURE MOUNTING HEIGHTS ARE TO THE BOTTOM OF THE FIXTURE OR FIXTURE LENS. THE OWNER'S REPRESENTATIVE SHALL BE INFORMED OF FIXTURES THAT CAN NOT BE MOUNTED IN THE SPECIFIED LOCATIONS OR AT THE SPECIFIED MOUNTING HEIGHTS DUE TO FIELD CONDITIONS PRIOR TO INSTALLATION. THE CONTRACTOR SHALL NOT INSTALL THESE FIXTURES UNTIL INSTALLATION DIRECTION IS RECEIVED FROM THE OWNER'S REPRESENTATIVE.
- L.D. ALL APARTMENT/DWELLING UNIT LIGHTING FIXTURES SHALL BE CONNECTED TO THE ASSOCIATED APARTMENT LOADCENTER LC#., REFER TO LC#\_ LOADCENTER SCHEDULE FOR SPECIFIC BRANCH CIRCUITS SERVED.
- L.E. ALL COMMON AREA AND STAIRWAY LIGHTING FIXTURES SHALL BE CONNECTED TO THE EXISTING HOUSE PANEL PH#.
- L.F. ALL EXIT LIGHTING FIXTURES SHALL BE CONNECTED TO THE EXISTING HOUSE PANEL PH#.
- L.G. ALL EMERGENCY LIGHTING FIXTURES SHALL BE CONNECTED TO THE HOUSE LIGHTING BRANCH CIRCUIT SERVING THE ASSOCIATED SPACE AHEAD OF ALL LIGHTING CONTROL DEVICES (IE. SWITCHES, OCCUPANCY SENSORS, ETC.). EMERGENCY LIGHTING FIXTURES SHALL NOT BE SWITCHED.
- L.H. ALL EXTERIOR LIGHTING FIXTURES SHALL BE CONNECTED TO THE HOUSE PANEL PH#\_.
- L.I. ALL BRANCH CIRCUITS SHALL BE COPPER CONDUCTORS. ALL BRANCH CIRCUITS SHALL BE CONCEALED WITHIN BUILDING CONSTRUCTION.

L1. PROVIDE DESIGNATED LIGHTING FIXTURE, AS SPECIFIED, AND  
INSTALL IN SAME LOCATION AS REMOVED LIGHTING FIXTURE.  
RE-CONNECT TO EXISTING LIGHTING BRANCH CIRCUIT MAINTAINED  
DURING DEMOLITION.



PARTIAL 2nd FLOOR LIGHTING PLAN  
SCALE: 1/4"=1'-0"



PARTIAL 1st FLOOR LIGHTING PLAN  
SCALE: 1/4" = 1'-0"





THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INCORPORATED HEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE & ASSOCIATES AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE & ASSOCIATES. ALL RIGHTS RESERVED.

**GENERAL ELECTRICAL CONSTRUCTION NOTES:**

- EA. REFER TO ONE-LINE DIAGRAM FOR LOADCENTER, BRANCH CIRCUIT BREAKER AND ASSOCIATED FEEDER REQUIREMENTS.
- EB. REFER TO LOADCENTER SCHEDULES FOR ALL LOADCENTER AND ASSOCIATED BRANCH CIRCUIT BREAKER REQUIREMENTS.
- EC. ALL APARTMENT RECEPTACLES AND APPLIANCES SHALL BE CONNECTED TO THE ASSOCIATED APARTMENT LOADCENTER LC#\_. REFER TO LC#\_ LOADCENTER SCHEDULE FOR SPECIFIC BRANCH CIRCUITS SERVED.
- ED. ALL APARTMENT RECEPTACLES SHALL BE INSTALLED IN ACCORDANCE WITH NEC 210.52 REQUIREMENTS.
- EE. ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS SHALL BE GFI TYPE INSTALLED IN ACCORDANCE WITH NEC 210.52(C) REQUIREMENTS.
- EF. ALL APARTMENT BATHROOMS SHALL BE PROVIDED WITH A GFI TYPE RECEPTACLE INSTALLED IN ACCORDANCE WITH NEC 210.52(D) REQUIREMENTS.
- EG. ALL BRANCH CIRCUITS SERVING DWELLING UNIT OUTLETS PER NEC DEFINITION SHALL BE PROTECTED BY LISTED ARC-FAULT CIRCUIT INTERRUPTERS PER NEC 210.12 REQUIREMENTS.
- EH. ALL APARTMENT RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT (CHIL-D-PRODF) RECEPTACLES IN ACCORDANCE WITH NEC 406.12 REQUIREMENTS.
- EI. FULLY COORDINATE ALL CEILING MOUNTED DEVICE LOCATIONS WITH ALL OTHER CEILING MOUNTED DEVICES, WITH ALL OTHER TRADES, AND WITH CEILING CONSTRUCTION; REFER TO THE ARCHITECTURAL REFLECTED CEILING PLAN ADDITIONAL REQUIREMENTS.
- EJ. ALL SINGLE STATION SMOKE ALARMS SHALL BE SERVED BY THE APARTMENT LIGHTING BRANCH CIRCUIT (LC#1). ALL SINGLE STATION SMOKE ALARMS WITHIN EACH APARTMENT SHALL BE INTERCONNECTED SUCH THAT UPON ACTIVATION OF ANY ONE SMOKE ALARM WITHIN THE APARTMENT ALL SMOKE ALARMS WITHIN THE APARTMENT ARE ACTIVATED.
- EK. ALL BRANCH CIRCUITS WITHIN EACH APARTMENT, SERVED BY APARTMENT LOADCENTER, SHALL BE COPPER CONDUCTORS. ALL BRANCH CIRCUITS AND SYSTEMS WIRING SHALL BE CONCEALED WITHIN BUILDING CONSTRUCTION.

**GENERAL COMMUNICATIONS CONSTRUCTION NOTES:**

- EA. FULLY COORDINATE ALL COMMUNICATIONS/CATV SYSTEM REQUIREMENTS WITH OWNER'S VENDOR.
- EB. VERIFY ALL NETWORK TELEPHONE-DATA-CATV REQUIREMENTS AND OUTLET LOCATIONS WITH OWNER AND OWNER'S VENDORS PRIOR TO ROUGH-IN OF BOXES, CONDUIT AND RACEWAYS. PROVIDE ALL OUTLETS, PATCH-PANELS, AMPLIFIERS, SPLITTERS, CABLING AND CONNECTIONS AS REQUIRED.
- EC. UNLESS OTHERWISE NOTED OR INDICATED, ALL TELEPHONE-DATA-CATV OUTLETS SHALL CONSIST OF 4" SQUARE, FLUSH MOUNTED, OUTLET BOX WITH SINGLE GANG ADAPTER AND 1-PORT COVER PLATE FOR INSTALLATION OF TEL/DATA/CATV OUTLETS. PROVIDE 1" CONCEALED CONDUIT FROM OUTLET BOX TO BASEMENT.
- ED. UNLESS OTHERWISE NOTED OR SPECIFIED, PROVIDE ONE (1) RJ45 TEL-DATA JACK (WHITE) IN COVERPLATE AT EACH TEL-DATA OUTLET LOCATION INDICATED. PROVIDE ONE (1) CAT 6E, WHITE, 4-PAIR CABLE FROM TEL-DATA JACK TO MEDIA PANEL IN BASEMENT; PROVIDE ALL TERMINATIONS AT JACKS AS REQUIRED. LEAVE 10-FOOT SERVICE LOOP AT MEDIA PANEL FOR TERMINATION BY COMMUNICATIONS VENDOR.
- EE. UNLESS OTHERWISE NOTED OR SPECIFIED, PROVIDE ONE (1) RJ45 TV JACK (BLACK) IN COVERPLATE AT EACH TV OUTLET LOCATION INDICATED. PROVIDE ONE (1) CAT 6E, BLACK, 4-PAIR CABLE FROM TV JACK TO MEDIA PANEL IN BASEMENT; PROVIDE ALL TERMINATIONS AT JACKS AS REQUIRED. LEAVE 10-FOOT SERVICE LOOP AT MEDIA PANEL FOR TERMINATION BY COMMUNICATIONS VENDOR.

**KEYNOTES:**

1. PROVIDE AUDIBLE/VISIBLE DEVICE IN EACH APARTMENT LIVING ROOM AND CONNECT TO EXISTING BUILDING FIRE ALARM SYSTEM. ALL AUDIBLE DEVICES SHALL BE LOW FREQUENCY SOUNDER TYPE.
2. PROVIDE DEVICE BOX WITH BLANK COVER PLATE FOR FUTURE INSTALLATION OF AUDIBLE/VISIBLE DEVICE ACTIVATED BY BUILDING FIRE ALARM SYSTEM. PROVIDE RACEWAY FROM DEVICE BOX TO LIVING ROOM AUDIBLE/VISIBLE DEVICE BOX FOR THE FUTURE INSTALLATION OF ASSOCIATED WIRING WITHOUT AFFECTING APARTMENT FINISHES.

**REVISIONS**

no.	date	by	description

**PROJECT & CLIENT**

RENOVATIONS TO  
**1289-1310  
LEXINGTON AVE.**  
ROCHESTER, NY 14606

**BUILDING 2, ENTRANCE 17  
APARTMENTS 17-20**

**ROCHESTER HOUSING AUTHORITY  
6 CHRISTOPHER COURT  
ROCHESTER, NY 14606**

**DRAWING TITLE**

**UNIT 17-20  
ELECTRIC PLANS**

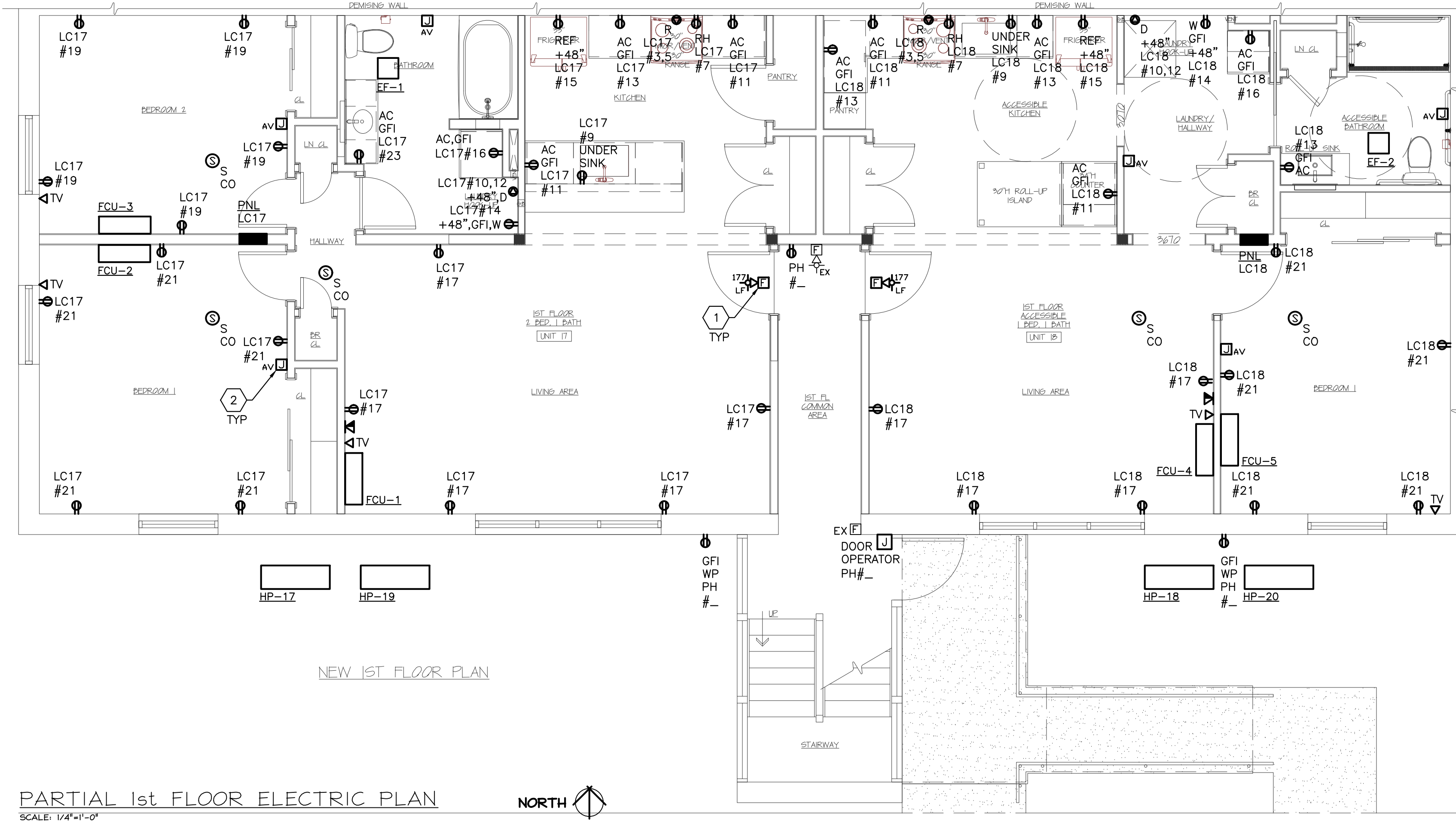
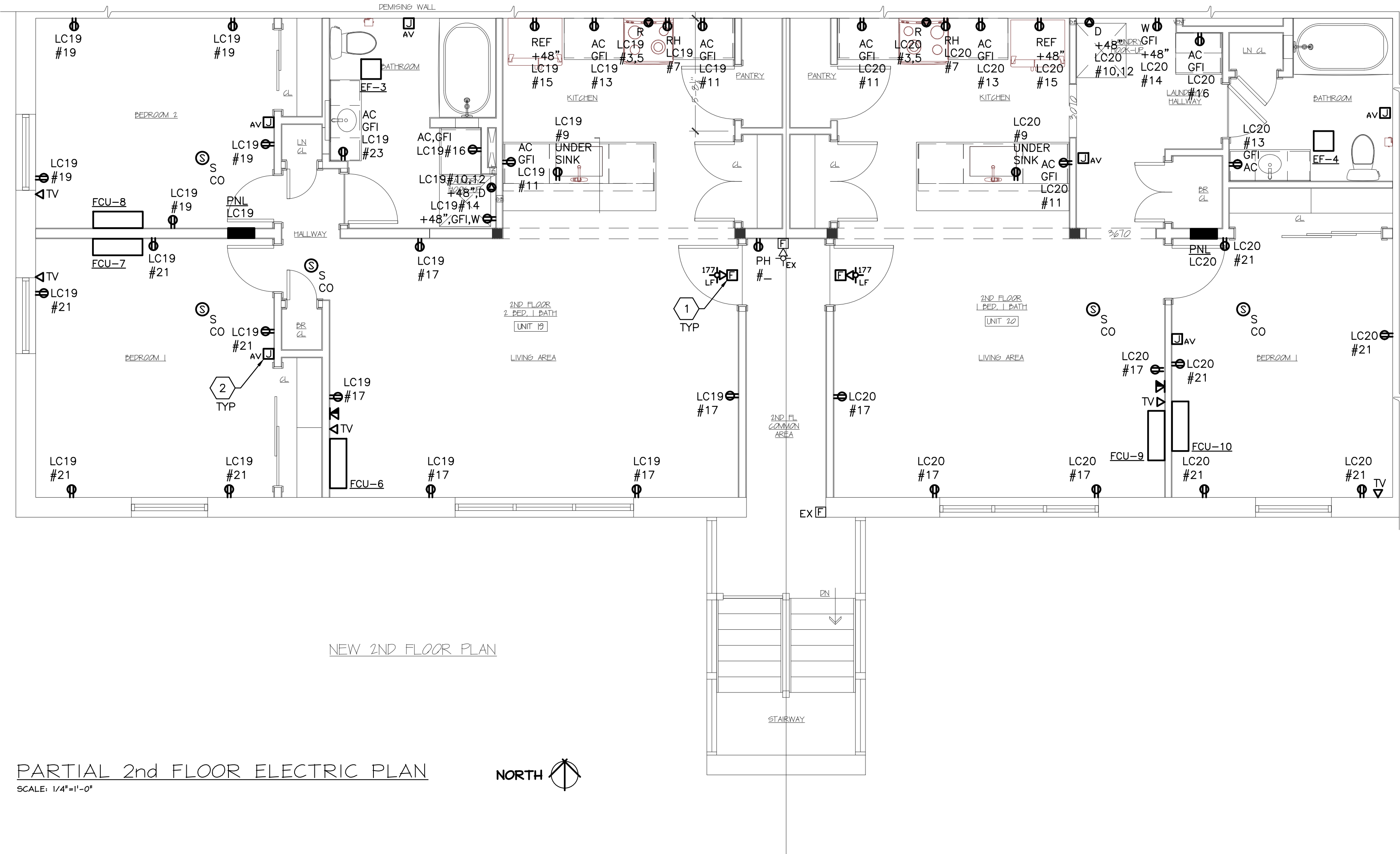
**DRAWING NO.**

**E-200**

drawn by MDP  
checked MDP  
proj. capt. FLM  
date 03-24-25  
proj. no. PE522418

**ISSUE DATE**

**03-24-25**





ELECTRICAL EQUIPMENT SCHEDULE																							
EQUIPMENT DESIGNATION			EQUIPMENT RATING			STARTER DATA							DISCONNECT DATA							CONDUCTORS			SEE
ID	DESCRIPTION	LOCATION	RATING	VOLT	PH	LOCATION	BY	TYPE	SIZE	DISC.	FUSE/CB	LOCATION	BY	TYPE	FUSE	SOURCE	OCB	CONDUIT	PHASE	NEUTRAL	GROUND	NOTE(S)	
APARTMENT EQUIPMENT & APPLIANCES:																							
HP-1 (Apt 17)	AIR COOLED HEAT PUMP	EXTERIOR - GRADE	18.1 MCA	208	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	AT UNIT	E	30A/2PWP	NF	APTLC	25A/2P	NM-B CABLE	2 #12	-----	1 #12	1	
HP-2 (Apt 18)	AIR COOLED HEAT PUMP	EXTERIOR - GRADE	15.8 MCA	208	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	AT UNIT	E	30A/2PWP	NF	APTLC	20A/2P	NM-B CABLE	2 #12	-----	1 #12	1	
HP-3 (Apt 19)	AIR COOLED HEAT PUMP	EXTERIOR - GRADE	18.1 MCA	208	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	AT UNIT	E	30A/2PWP	NF	APTLC	25A/2P	NM-B CABLE	2 #12	-----	1 #12	1	
HP-4 (Apt 20)	AIR COOLED HEAT PUMP	EXTERIOR - GRADE	15.8 MCA	208	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	AT UNIT	E	30A/2PWP	NF	APTLC	20A/2P	NM-B CABLE	2 #12	-----	1 #12	1	
FCU-1	FAN COIL UNIT	APARTMENT 17	0.23 A	208	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	INTEGRAL WITH UNIT	S	-----	-----	HP-1	-----	NM-B CABLE	2 #12	-----	1 #12	1	
FCU-2 & 3	FAN COIL UNIT	APARTMENT 17	0.20 A	208	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	INTEGRAL WITH UNIT	S	-----	-----	HP-1	-----	NM-B CABLE	2 #12	-----	1 #12	1	
FCU-4	FAN COIL UNIT	APARTMENT 18	0.23 A	208	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	INTEGRAL WITH UNIT	S	-----	-----	HP-2	-----	NM-B CABLE	2 #12	-----	1 #12	1	
FCU-5	FAN COIL UNIT	APARTMENT 18	0.20 A	208	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	INTEGRAL WITH UNIT	S	-----	-----	HP-2	-----	NM-B CABLE	2 #12	-----	1 #12	1	
FCU-6	FAN COIL UNIT	APARTMENT 19	0.23 A	208	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	INTEGRAL WITH UNIT	S	-----	-----	HP-3	-----	NM-B CABLE	2 #12	-----	1 #12	1	
FCU-7 & 8	FAN COIL UNIT	APARTMENT 19	0.20 A	208	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	INTEGRAL WITH UNIT	S	-----	-----	HP-3	-----	NM-B CABLE	2 #12	-----	1 #12	1	
FCU-9	FAN COIL UNIT	APARTMENT 20	0.23 A	208	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	INTEGRAL WITH UNIT	S	-----	-----	HP-4	-----	NM-B CABLE	2 #12	-----	1 #12	1	
FCU-10	FAN COIL UNIT	APARTMENT 20	0.20 A	208	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	INTEGRAL WITH UNIT	S	-----	-----	HP-4	-----	NM-B CABLE	2 #12	-----	1 #12	1	
EF-1	EXHAUST FAN	APT 17 BATHROOM CEILING	1/4 HP	120	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	INTEGRAL WITH UNIT	S	-----	-----	LTG CKT	-----	NM-B CABLE	1 #12	1 #12	1 #12	1.3	
EF-2	EXHAUST FAN	APT 18 BATHROOM CEILING	1/4 HP	120	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	INTEGRAL WITH UNIT	S	-----	-----	LTG CKT	-----	NM-B CABLE	1 #12	1 #12	1 #12	1.3	
EF-3	EXHAUST FAN	APT 19 BATHROOM CEILING	1/4 HP	120	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	INTEGRAL WITH UNIT	S	-----	-----	LTG CKT	-----	NM-B CABLE	1 #12	1 #12	1 #12	1.3	
EF-4	EXHAUST FAN	APT 20 BATHROOM CEILING	1/4 HP	120	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	INTEGRAL WITH UNIT	S	-----	-----	LTG CKT	-----	NM-B CABLE	1 #12	1 #12	1 #12	1.3	
R	RANGE	APARTMENT	8000 W	208	1	N/A	---	-----	-----	-----	-----	WALL BEHIND APPLIANCE	E	RECEP: NEMA 14-50R	-----	APTLC	40A/2P	NM-B CABLE	2 #8	1 #8	1 #8	1	
RH/KH-1	RANGE HOOD / KITCHEN HOOD	APARTMENT	240 W	120	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	CABINET ABOVE APPLIANCE	E	RECEP: NEMA 5-20R	-----	APTLC	20A/1P	NM-B CABLE	1 #12	1 #12	1 #12	1	
D	DRYER	APARTMENT	5000 W	208	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	WALL BEHIND APPLIANCE	E	RECEP: NEMA 14-30R	-----	APTLC	30A/2P	NM-B CABLE	2 #10	1 #10	1 #10	1	
W	WASHING MACHINE	APARTMENT	11.0 A	120	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	WALL BEHIND APPLIANCE	E	GFI RECEP: NEMA 5-20R	-----	APTLC	20A/1P/GFI	NM-B CABLE	1 #12	1 #12	1 #12	1	
REF	REFRIGERATOR	APARTMENT	6.5 A	120	1	INTEGRAL WITH UNIT	S	-----	-----	-----	-----	WALL BEHIND APPLIANCE	E	RECEP: NEMA 5-20R	-----	APTLC	20A/1P	NM-B CABLE	1 #12	1 #12	1 #12	1	

ELECTRICAL EQUIPMENT SCHEDULE ABBREVIATIONS:

C: COMBINATION MOTOR STARTER  
CB: CIRCUIT BREAKER  
FLA: FULL LOAD AMPS  
FVNR: FULL VOLTAGE NON-REVERSING  
MAG: MAGNETIC MOTOR STARTER

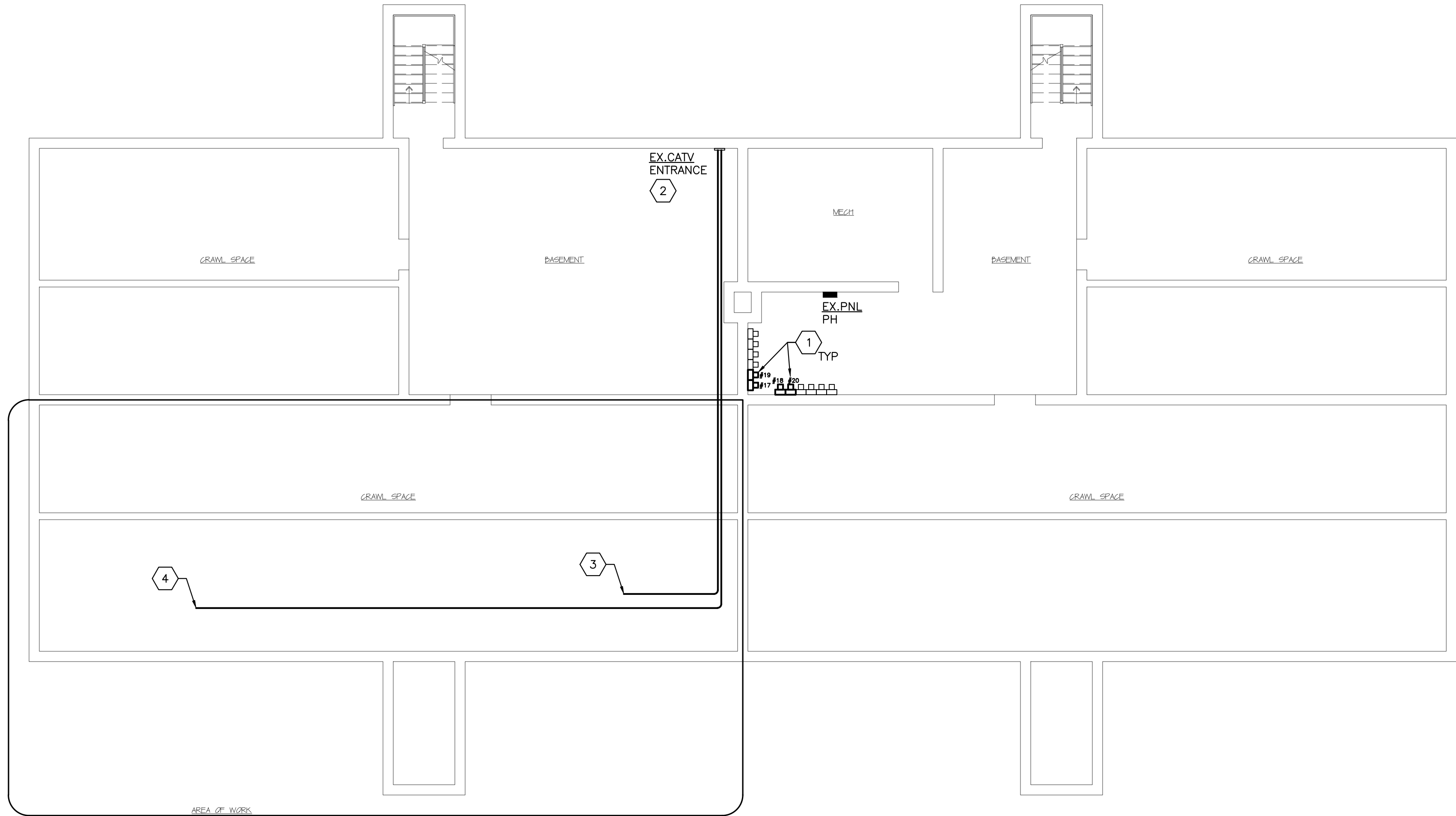
MANUAL: MANUAL MOTOR STARTER  
MCA: MINIMUM CIRCUIT AMPACITY  
NF: NON-FUSED  
TO: THERMAL OVERLOAD  
WP: WEATHER-PROOF (NEMA 3R ENCL)

E: ELECTRICAL CONTRACTOR  
M: MECHANICAL CONTRACTOR  
O: OWNER  
S: EQUIPMENT SUPPLIER

MAIN BUS: 125 AMP with 125A/2P MCB					LOADCENTER SCHEDULE LC17-20										REFER TO FLOOR PLANS : LOCATION				
VOLTAGE: 208/120 VOLTS, 1 PHASE, 3 WIRE															FLUSH : MOUNTING				
MIN. AIC: 10,000A															MODULAR METERING CARRIER : SOURCE				
TYPE: DWELLING UNIT BRANCH CIRCUIT															REFER TO ONE-LINE DIAGRAM : FEEDER				
CKT	AMP	P	LOAD	LTG.	RECEP	EQUIP	OTHER	PH	OTHER	EQUIP	RECEP	LTG	LOAD	P	AMP	CKT			
G	1	20	1	LTG: APARTMENT: FA DEVICES				A			3765		HEAT PUMP (HP-#)	2	20	2			
	3	40	2	RANGE (R)				B					Spare	2	25	4			
	5							A						2	15	6			
	7	20	1	RECEP: RH/KH			78	B											
	9	20	1	DISHWASHER (DW)			852	A		5000			DRYER	2	30	10			
	11	20	1	RECEP: KITCHEN COUNTER		1500		B								12			
	13	20	1	RECEP: KITCHEN COUNTER		1500		A			1500		WASHING MACHINE	1	20	14			
	15	20	1	RECEP: REFRIGERATOR (REF)			780	B			180		RECEP: LAUNDRY	1	20	16			
	17	15	1	RECEP: LIVING ROOM		900		A					Spare	1	20	18			
	19	20	1	RECEP: BEDROOM#1		720		B					Spare	1	20	20			
	21	20	1	RECEP: BEDROOM#2		720		A					Spare	1	20	22			
	23	20	1	RECEP: BATHROOM#1		180		B					Spare	1	20	24			
	25	20	1	Spare				A					Spare	1	20	26			
	27	20	1	Spare				B					Spare	1	20	28			
	29	20	1	Spare				A					Spare	1	20	30			
LOAD TOTALS: VA					0	5520	1710	8000	5000	3765	1680	0	VA LOAD TOTALS						
TOTALS WITH NEC FACTORS: VA					included	3000	1283	8000	5000	3765	1470	included	VA TOTALS WITH NEC FACTORS						
TOTAL CONNECTED LOAD WITH NEC FACTORS: 18.5 KVA 89 Amps at 208 Volts 1 Phase																			
* PROVIDE ARC-FAULT TYPE CIRCUIT BREAKER; G-PROVIDE GFI TYPE CIRCUIT BREAKER; H-REFER TO EQUIP SCHEDULE FOR BREAKER RATING.																			

KEYNOTES:

- EXISTING UTILITY METERS SHALL REMAIN FOR CONTINUED USE. REPLACE EXISTING TENANT MAIN CIRCUIT BREAKER (60A/2P) WITH ENCLOSED 100A/2P TENANT MAIN CIRCUIT BREAKER.
- EXISTING CATV ENTRANCE. PROVIDE 1" FLEXIBLE CONDUIT FROM CATV ENTRANCE TO EACH APARTMENT LIVING ROOM CATV/DATA/TEL OUTLET; ONE (1) PER APARTMENT FOR A TOTAL OF FOUR (4) CONDUITS.
- UP TO APARTMENTS #18 AND #20.
- UP TO APARTMENTS #17 AND #19.



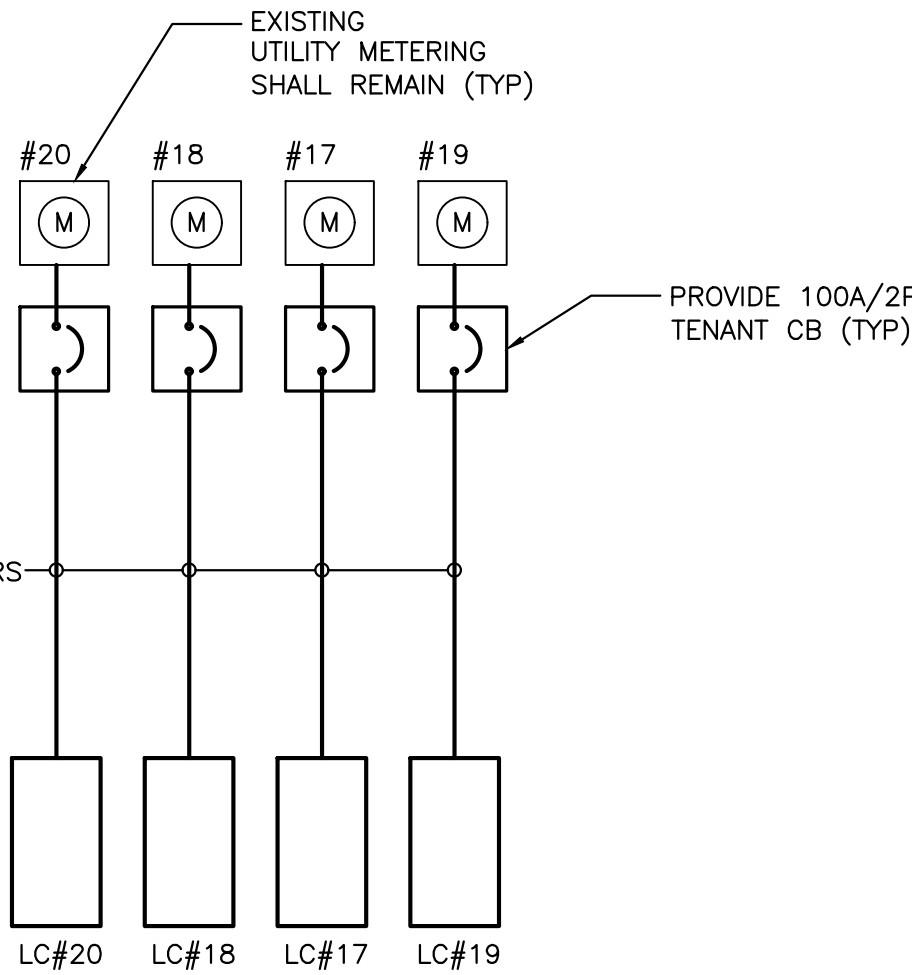
BASEMENT/CRAWL SPACE ELECTRIC PLAN  
SCALE: 1/8"=1'-0"



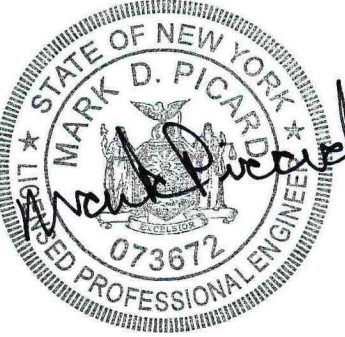
ELECTRICAL EQUIPMENT SCHEDULE NOTES:

- FULLY COORDINATE ALL DETAILS OF EQUIPMENT INSTALLATION AND CONNECTION WITH ALL OTHER TRADES. PROVIDE ALL NECESSARY CONDUIT, CONDUCTORS, AUXILIARY CONTACTS, DEVICES, AND CONNECTIONS REQUIRED FOR A COMPLETE AND FULLY FUNCTIONAL UNIT AND SYSTEM. VERIFY EXACT LOCATION OF ALL EQUIPMENT CONNECTIONS PRIOR TO ROUGH-IN.
- PROVIDE GFI TYPE CIRCUIT BREAKER.
- INTER-LOCK WITH BATHROOM LIGHT SWITCH

APARTMENT FEEDERS TO LOADCENTERS  
3#1/OAL+GND (UP TO 125FT)  
3#2/OAL+GND (UP TO 175FT)  
3#3/OAL+GND (UP TO 200FT)



ONE-LINE DIAGRAM  
NO SCALE



THESE DOCUMENTS AND ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INCORPORATED HEREON OR REPRESENTED BY ARE OWNED BY AND REMAIN THE PROPERTY OF PETER L. MORSE & ASSOCIATES AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF PETER L. MORSE & ASSOCIATES. ALL RIGHTS RESERVED.

REVISIONS

no.	date	by	description
△			
△			
△			
△			
△			
△			
△			
△			
△			
△			

PROJECT & CLIENT

RENOVATIONS TO  
**1289-1310  
LEXINGTON AVE.**  
ROCHESTER, NY 14606  
  
BUILDING 2, ENTRANCE 17  
APARTMENTS 17-20  
  
ROCHESTER HOUSING AUTHORITY  
6 CHRISTOPHER COURT  
ROCHESTER, NY 14606

DRAWING TITLE

UNIT 17-20  
ELECTRIC SCHEDULES

DRAWING NO.

E-300

drawn by MDP  
checked MDP  
proj. capt. FLM  
date 03-24-25  
proj. no. PE52.24.18

ISSUE DATE

03-24-25